

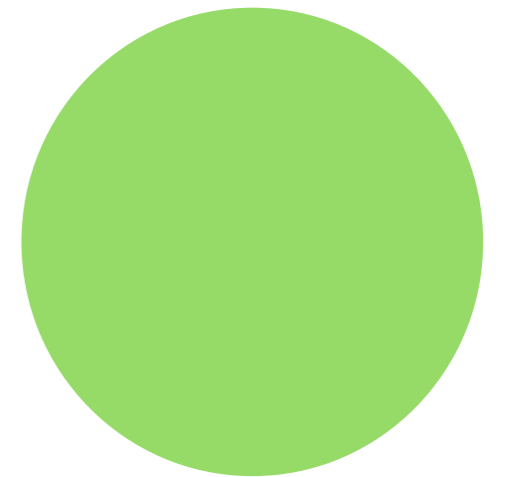
MÜDÖN

Hudayriyat Central

Abu Dhabi, UAE

Project Brief and Information

26th April





Hudayriyat Central

Abu Dhabi, UAE

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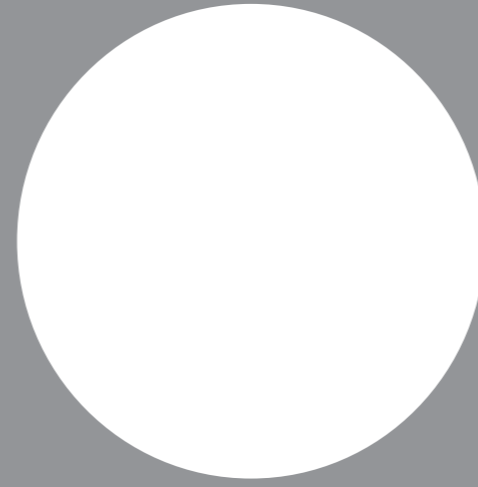
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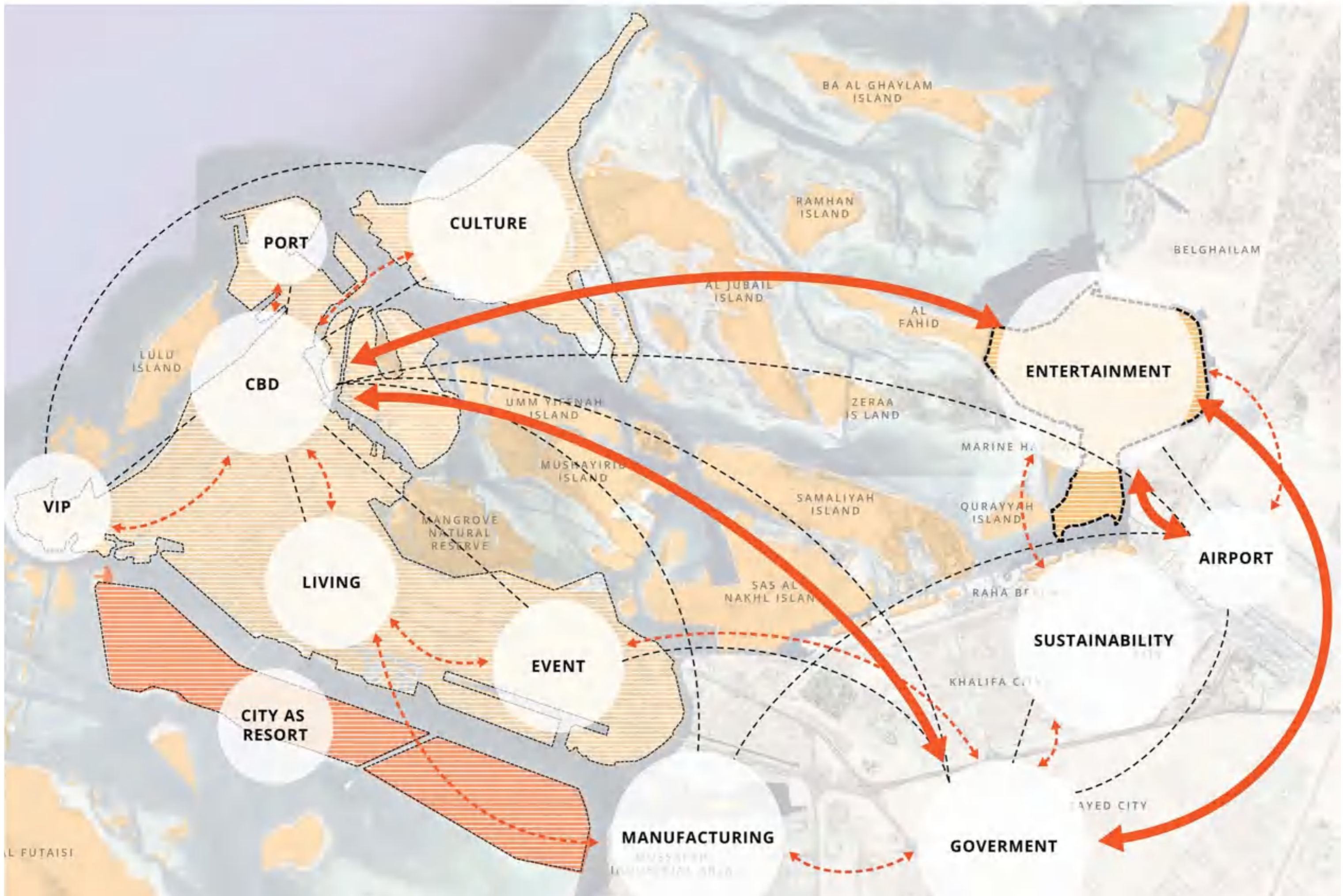


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Introduction







GATEWAYS



**INWARD LOOKING
APARTMENT COMMUNITIES**



**LUSH AND MANAGED
LANDSCAPES**



SPECIAL OFFERINGS



TERRACED COMMUNITIES



MARINA VILLAS



LAKESIDE COMMUNITIES



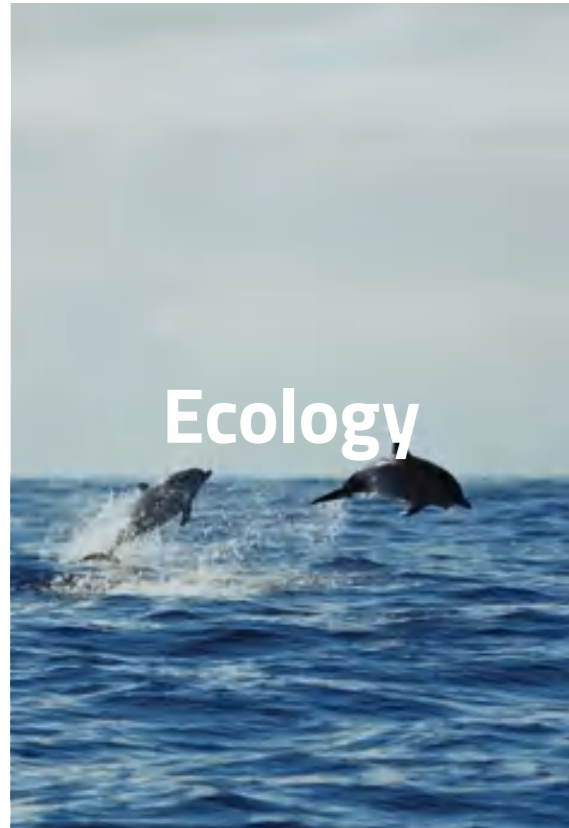
**GREAT RETAIL STREETS
AND RETAIL DESTINATIONS**

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Vision

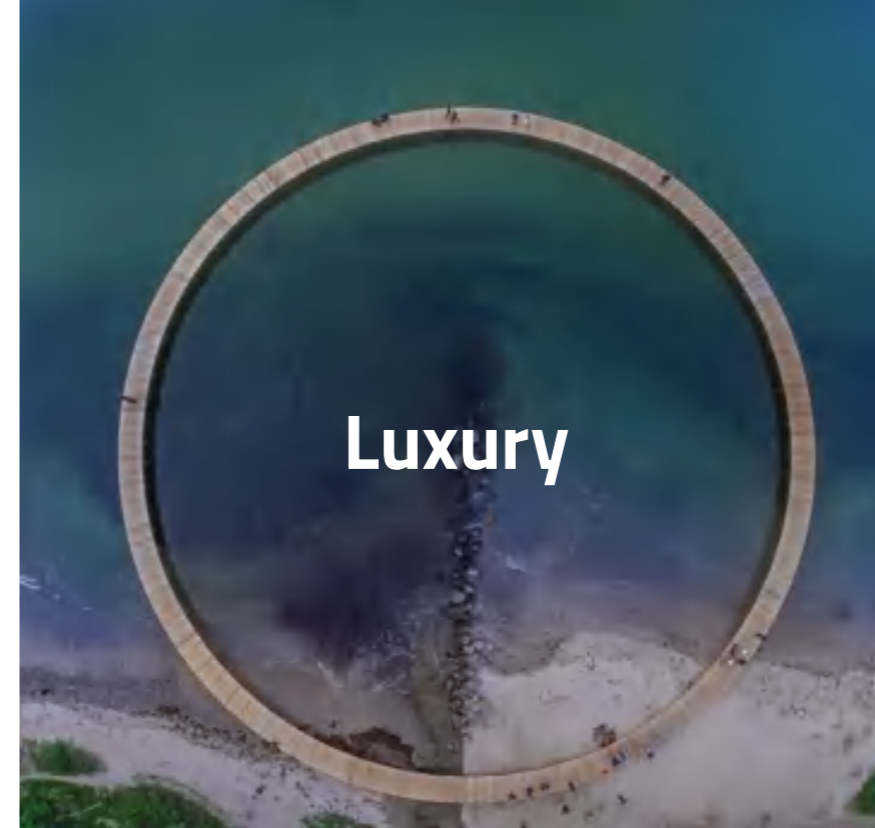




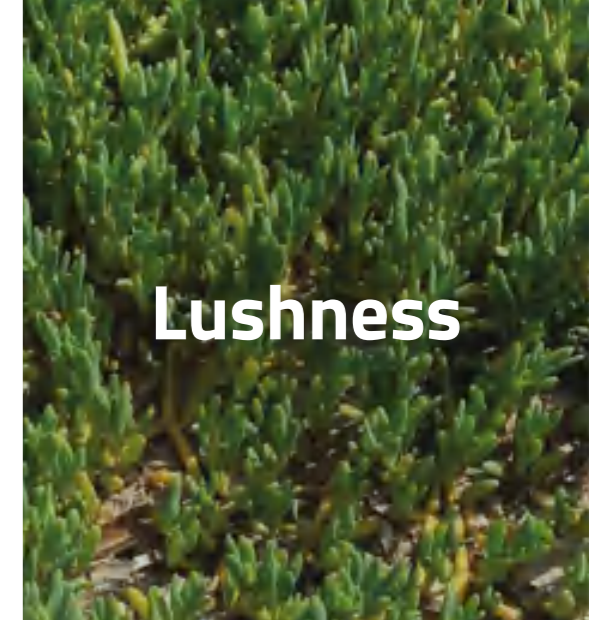
Ecology



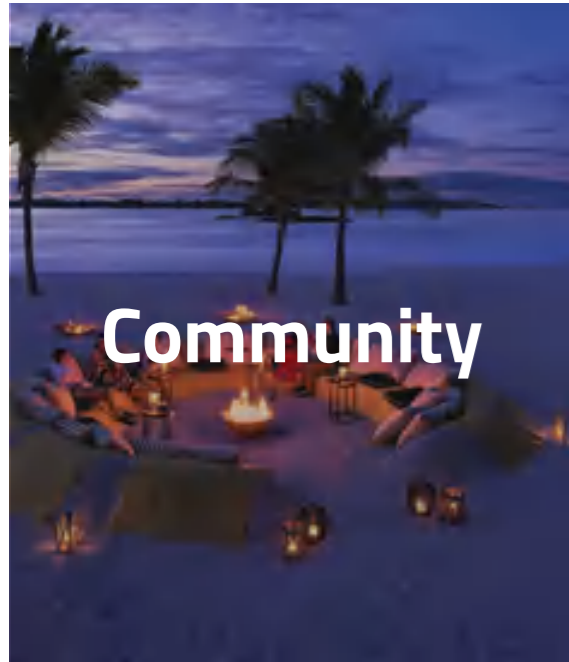
Smart Living



Luxury



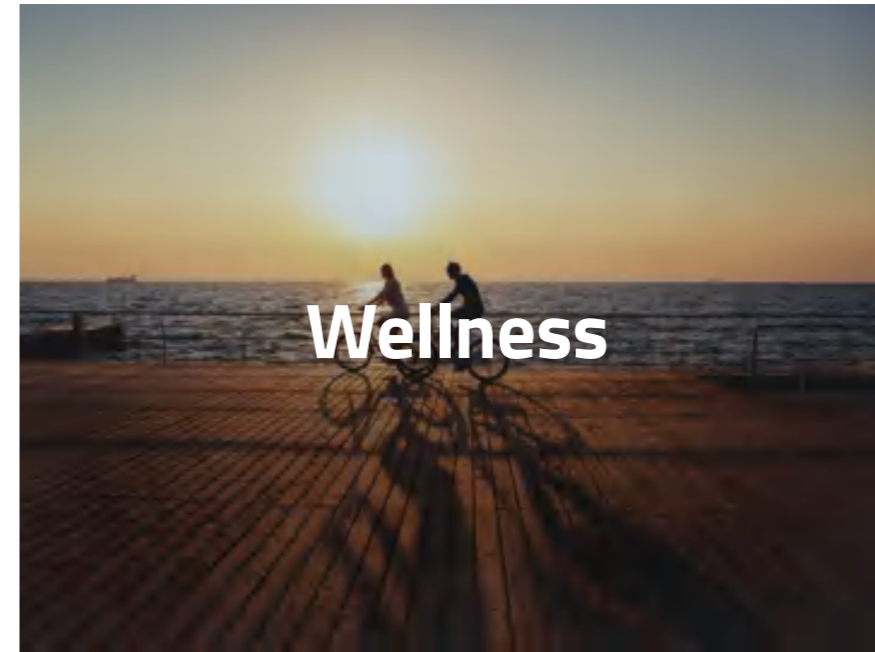
Lushness



Community



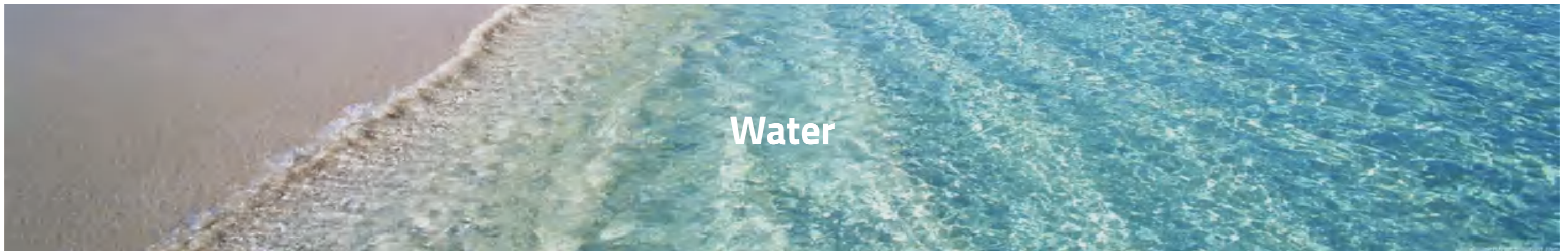
Family



Wellness



Future Focused



Water

MÜDÖN



Hudayriyat Central



OVERVIEW



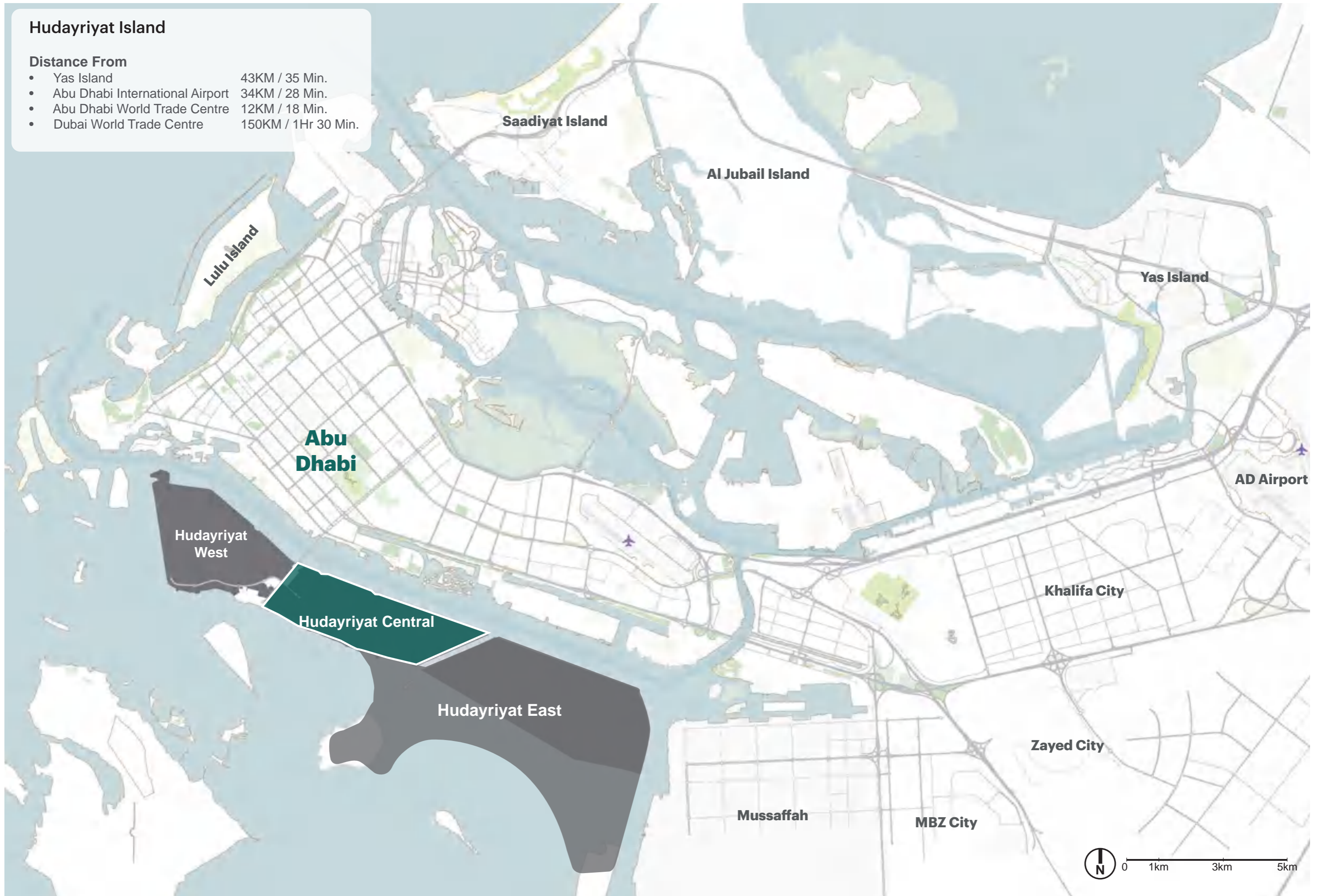




Hudayriyat Island

Distance From

- Yas Island 43KM / 35 Min.
- Abu Dhabi International Airport 34KM / 28 Min.
- Abu Dhabi World Trade Centre 12KM / 18 Min.
- Dubai World Trade Centre 150KM / 1Hr 30 Min.





Community	Architectural style	Plot Types
Hudayriyat Hills	Southern Californian	5
	Contemporary	
	Aegean	
Sahl Villa Community	Southern Californian - Modern	2
Quays Villas	Contemporary	4
	Southern Californian - Modern	
Sunset Cliff Villas	Southern Californian - Modern	1
	Contemporary	

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Hudayriyat Hills



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Site Location & Key Statistics

Typology

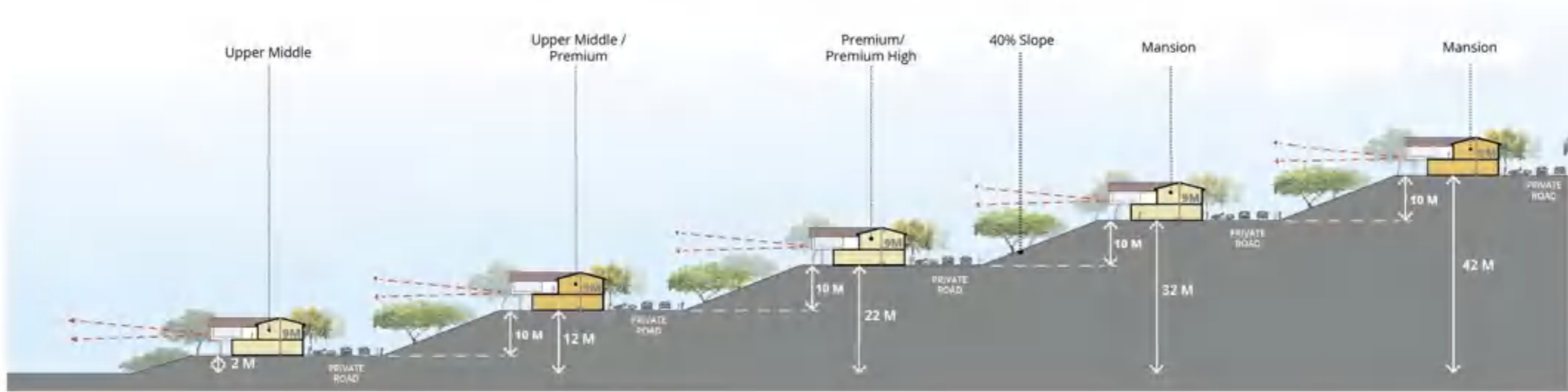
Perspective Views

Design Guidelines

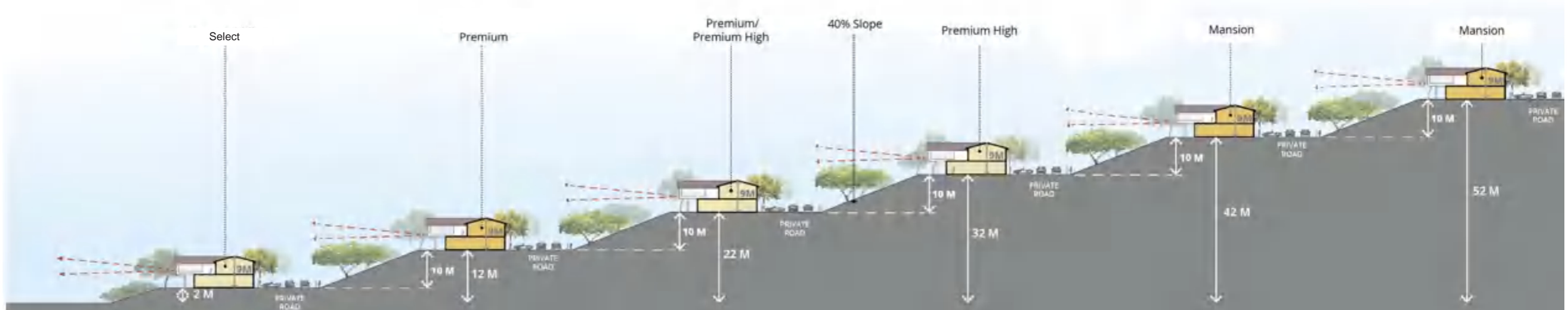
Plot Regulation Sheets

	Site Area	
	East Hill	125 ha
	West Hill	115 ha
	East Hill Villas	416
	Mansion	39
	2,000 sqm (50m x 40m)	
	Premium High	79
	1,400 sqm (50m x 28m)	
	Premium 900 sqm (36m x 25m)	84
	Select Plus 510 sqm (34m x 15m)	80
	Select 450 sqm (30m x 15m)	134
	West Hill Villas	365
	Mansion	70
	2,000 sqm (50m x 40m)	
	Premium High	20
	1,400 sqm (50m x 28m)	
	Premium 900 sqm (36m x 25m)	136
	Select Plus 510 sqm (34m x 15m)	34
	Select 450 sqm (30m x 15m)	105
	East Hill Amenities	
	Community Centre	1
	Mosque	3
	West Hill Amenities	
	Community Centre	1
	Mosque	3
	East Hill	
	Open Space	50.3 ha
	West Hill	
	Open Space	44.9 ha





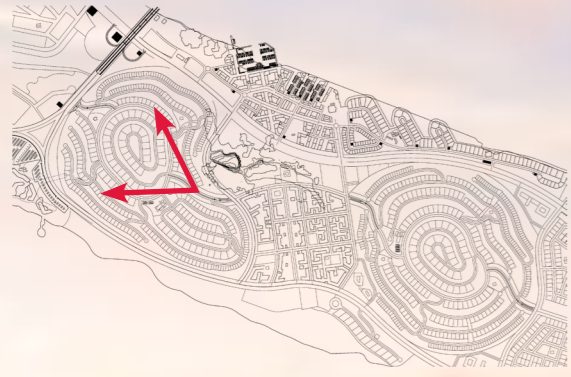
WEST HILL



EAST HILL



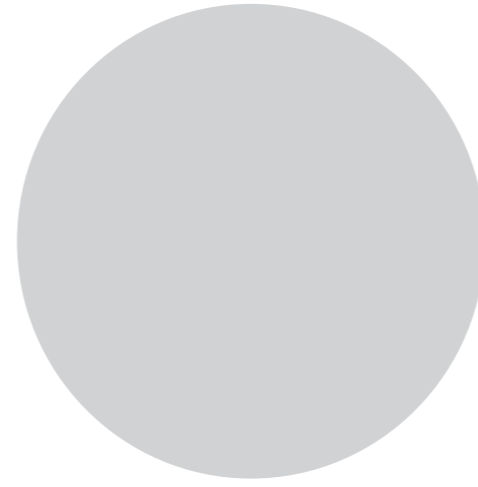

**Hudayriyat
Hills**



Hudayriyat Hills



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Design Guidelines



East/West Hills

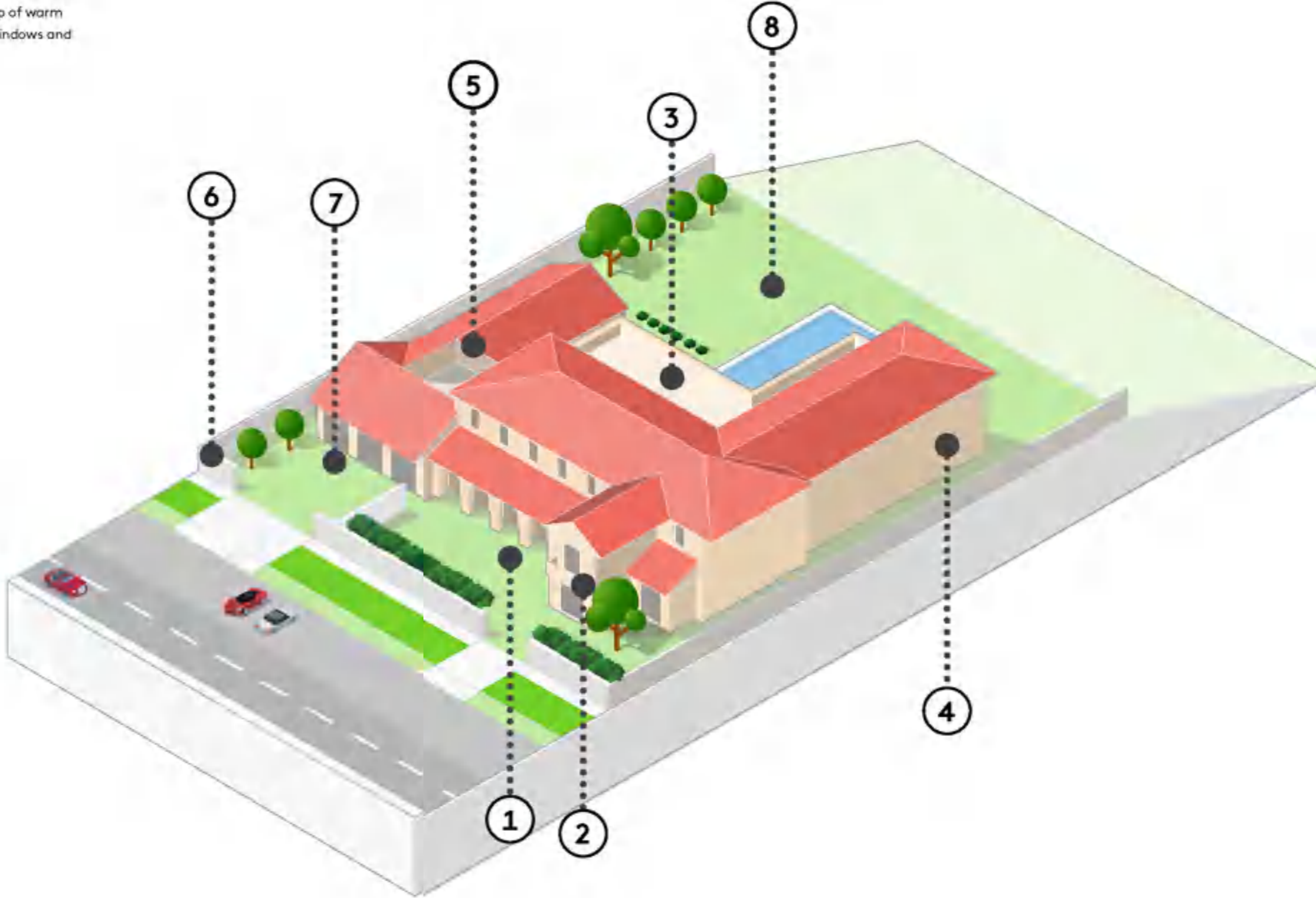
Two exclusive, prominent hills located in the middle of the island. Developed to provide terraced stand-alone villa plots with clear unobstructed views towards the water and the city. Inspired by Pelican Hills in Newport Beach, CA., these are the only villa communities within the central character zone.

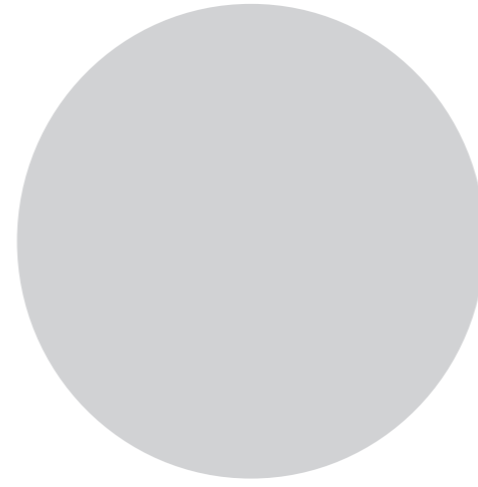


Architectural Elements

The architecture of the Hudayriyat Hills incorporates elements common to the Southern California Spanish aesthetic. Low pitched terra-cotta tile roofs are layered on building forms with varying heights to create a richness that evokes a structure built over time. Lush landscapes are offset by a backdrop of warm hued walls of stucco and stone. The intricate details of balconies, windows and doors create a stunning framework for the ocean views beyond.

- ① Entry Door & Porches
- ② Window and Patios
- ③ Terrace
- ④ Walls
- ⑤ Roof and Mechanical Area
- ⑥ Fence
- ⑦ Front Yard
- ⑧ Back Yard





Plot Regulation Sheets



CONTENTS

Mansion Plot

Premium High Plot

Premium Plot

Select Plus Plot

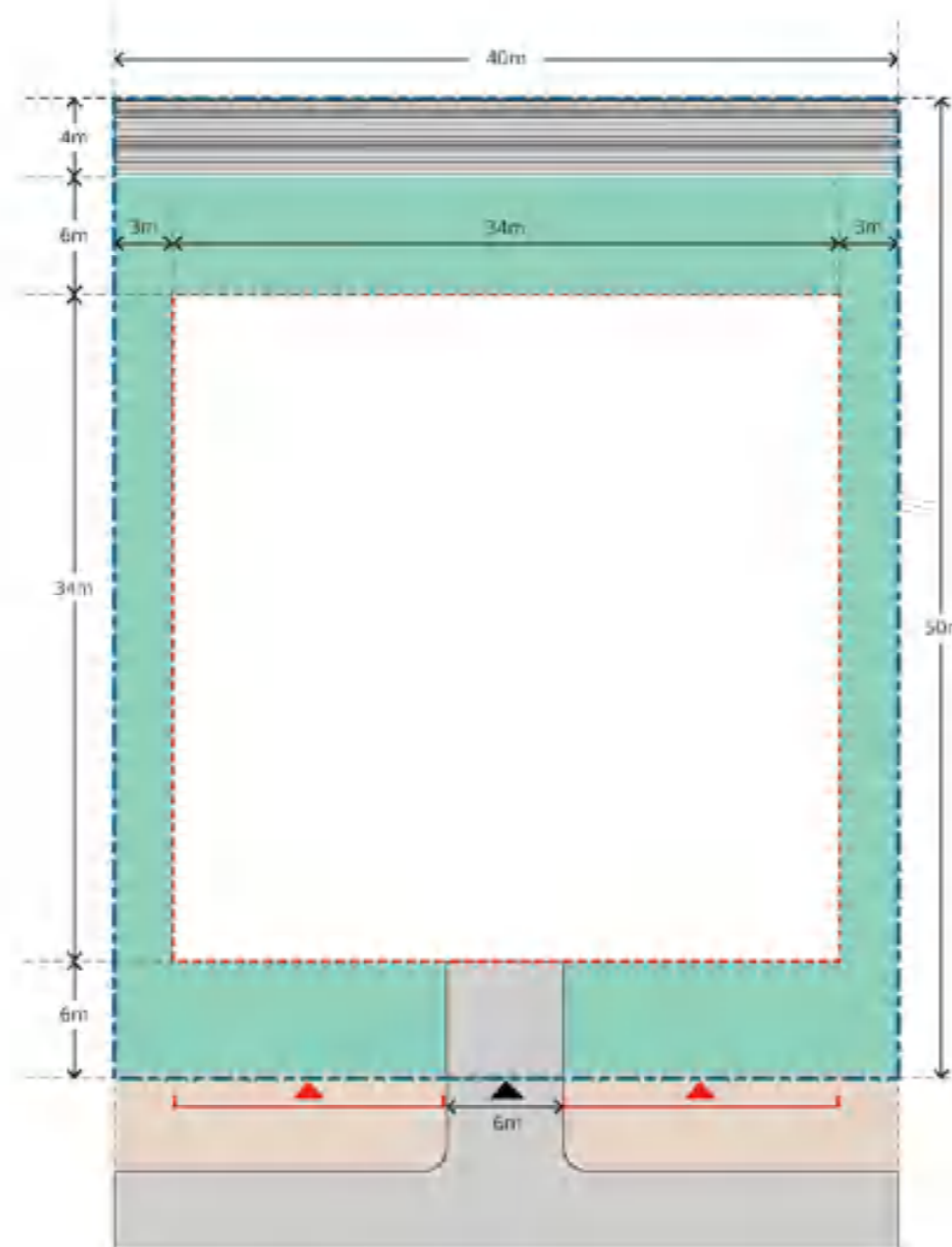
Select Plot

D9.2.1.3 Plot Level Regulations & Guidelines

Hudayriyat Hill Mansion (Typical Plot)

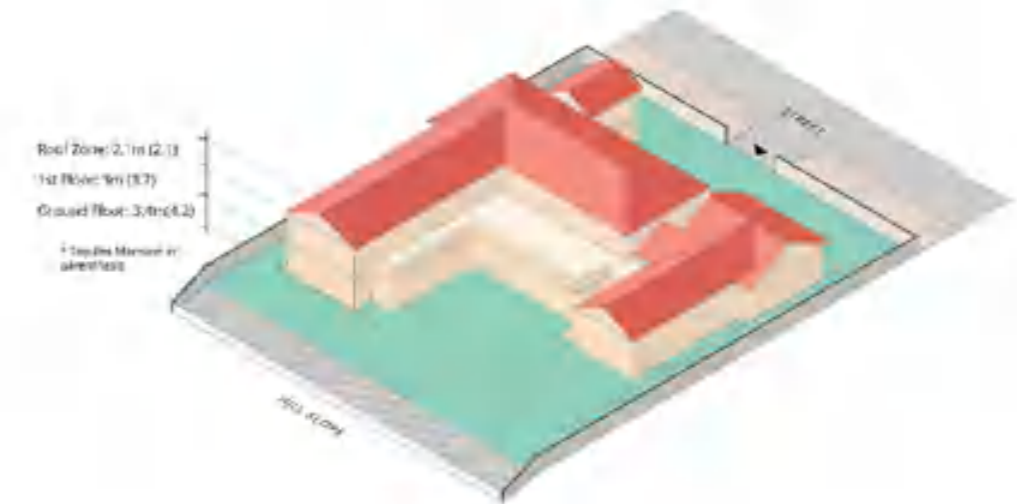
- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- Maximum Height: 8.5m for Lower Tier Mansion Plots, 10m for Top Tier Mansion Plots (locations as indicated below)
- Setbacks are given as follows:
 - Front Setback: 6m
 - Side Setbacks: 3m
 - Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties)
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area
- Rear fences to abide by fence guidelines
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details
- Trash facilities shall comply with Estidama requirements

- Other Mansions
- Top-tier Mansion



Key

- Plot Boundary
- Buildable Zone for dwelling
- Buffer Area
- Vehicular Lane
- Sidewalk
- Building Entry
- Vehicular Entry

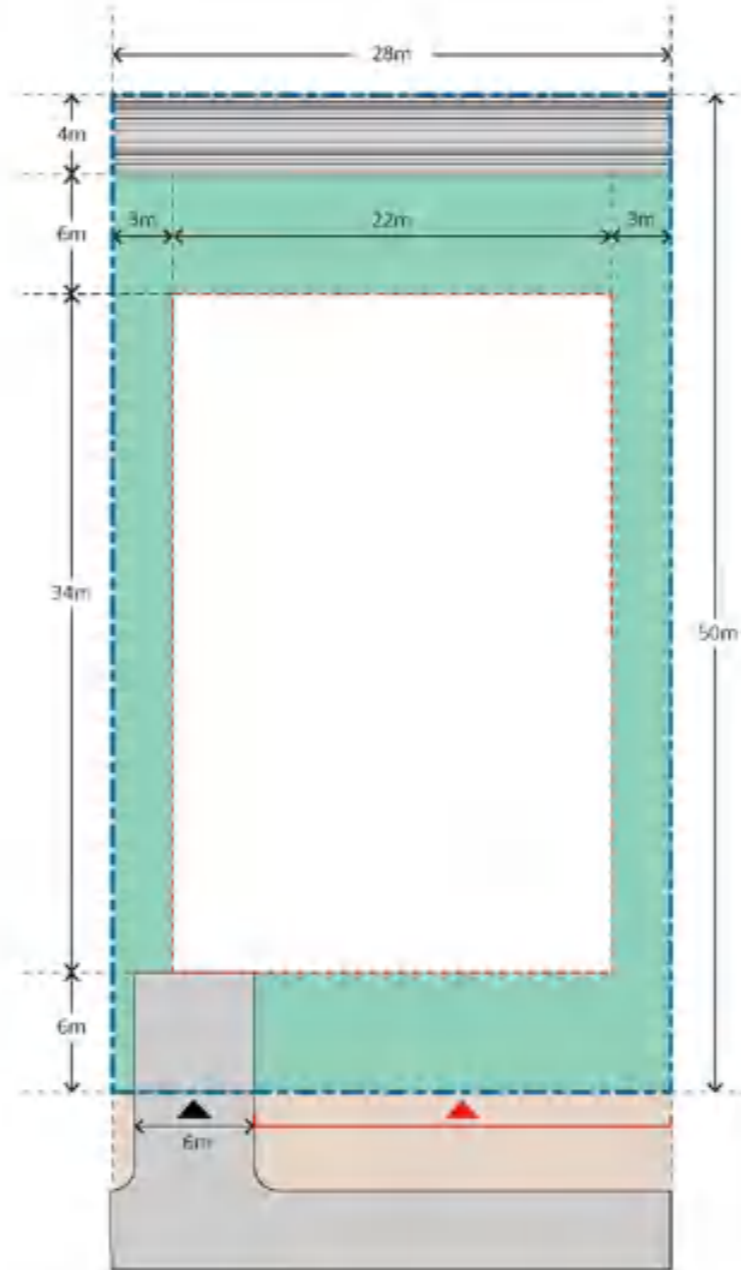


Mansion Plot	Typical*
Land Use	Residential-Villa
Plot Area	2000
Number of Floors	2
Max. Allowable GFA	1500
FAR	0.75
Bedrooms	6
Resident Parking Space (on-plot)	5

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

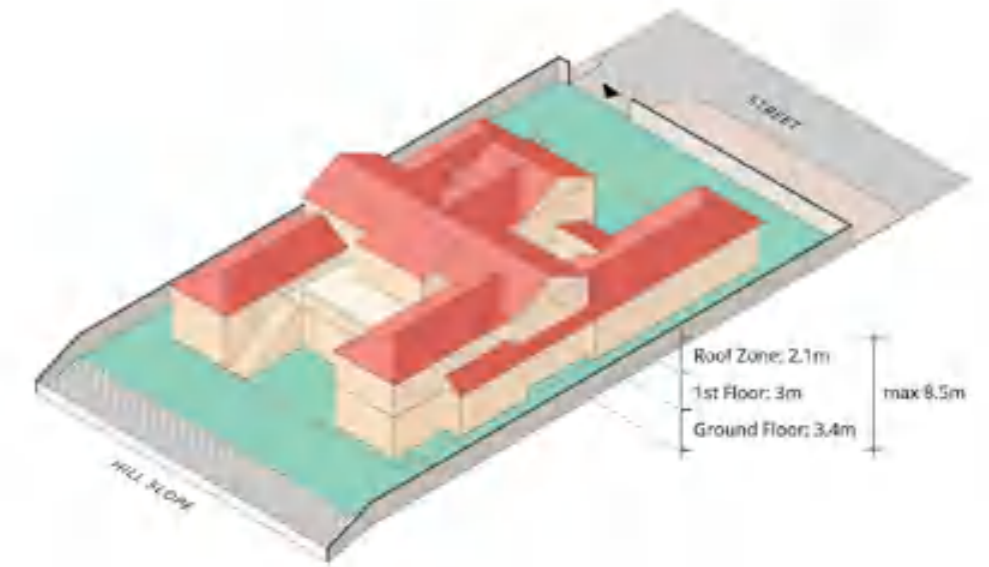
Premium High Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- Maximum Height: 8.5m
- Setbacks are given as follows:
 - » Front Setback: 6m
 - » Side Setbacks: 3m
 - » Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area
- Rear fences to abide by fence guideline.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details
- Trash facilities shall comply with Estidama requirements



Key

- Plot Boundary
- Buildable Zone for dwelling
- Buffer Area
- Vehicular Lane
- Sidewalk
- ▲ Building Entry
- ▲ Vehicular Entry



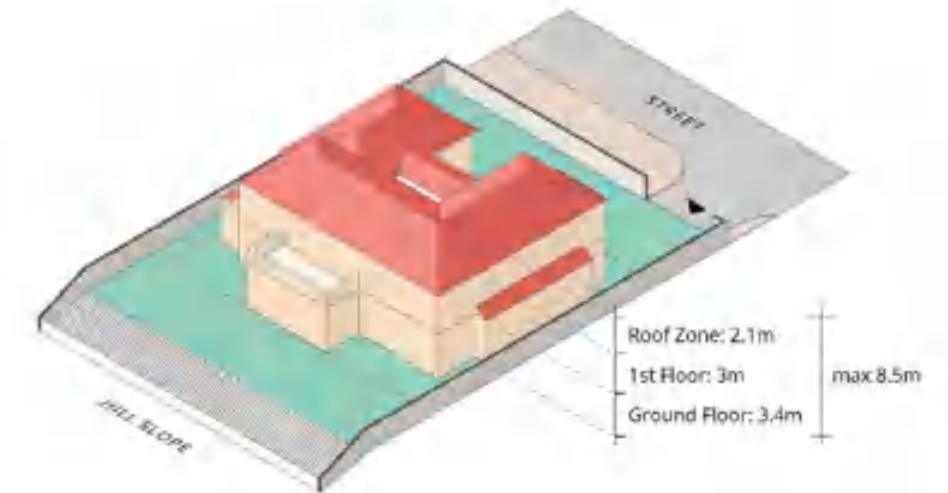
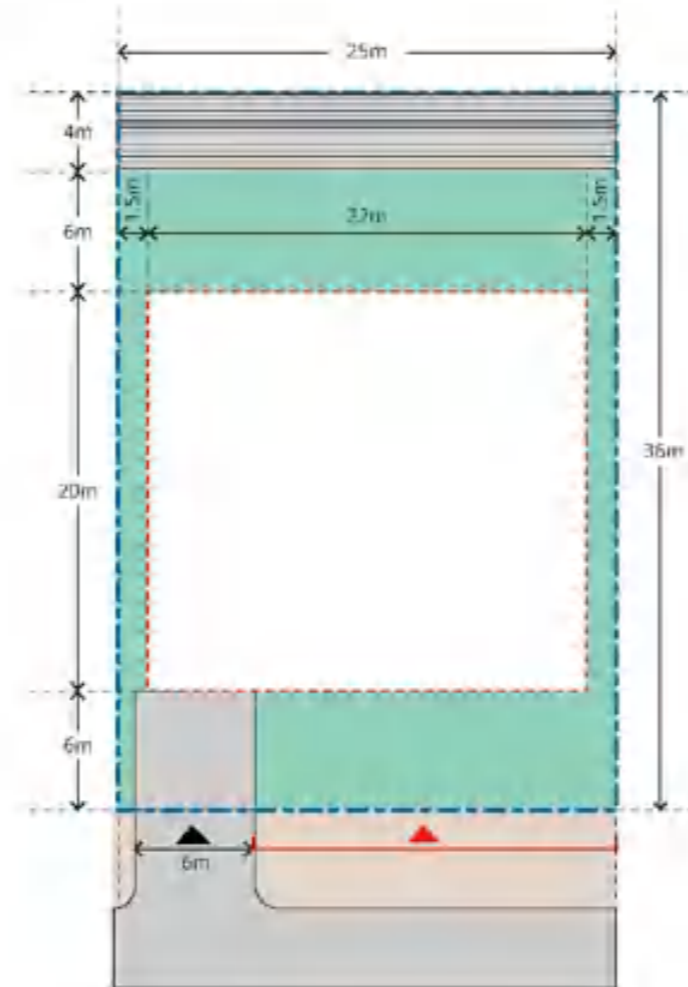
Premium High Plot	Typical*
Land Use	Residential-Villa
Plot Area	1400
Number of Floors	2
Max. Allowable GFA	1120
FAR	0.80
Bedrooms	5
Resident Parking Space (on-plot)	4

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.



Premium Hill Villa (Typical Plot)

- + Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- Maximum Height: 8.5m
- + Setbacks are given as follows:
 - » Front Setback: 6m
 - » Side Setbacks: 1.5m
 - » Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- Rear fences to abide by fence guideline.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements



Key

- Plot Boundary
- Buildable Zone for dwelling
- Buffer Area
- Vehicular Lane
- Sidewalk
- ▲ Building Entry
- ▲ Vehicular Entry

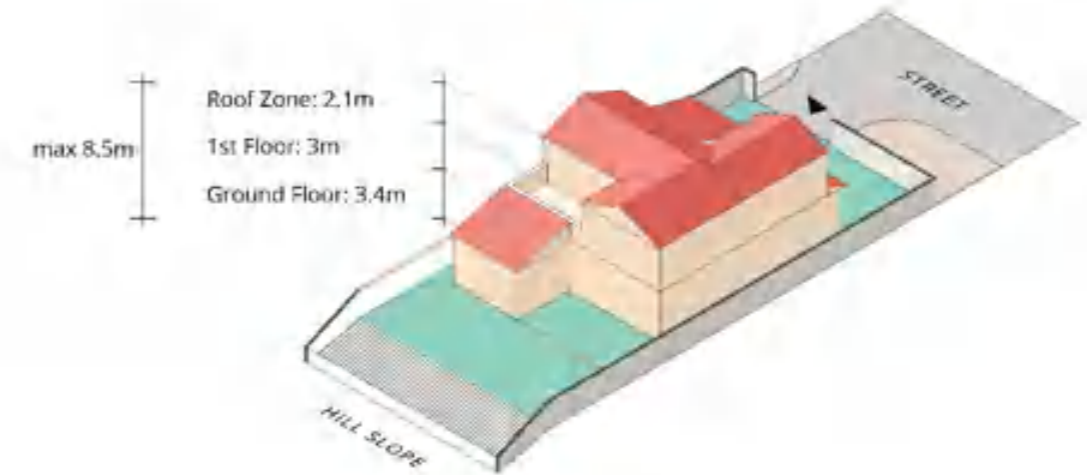
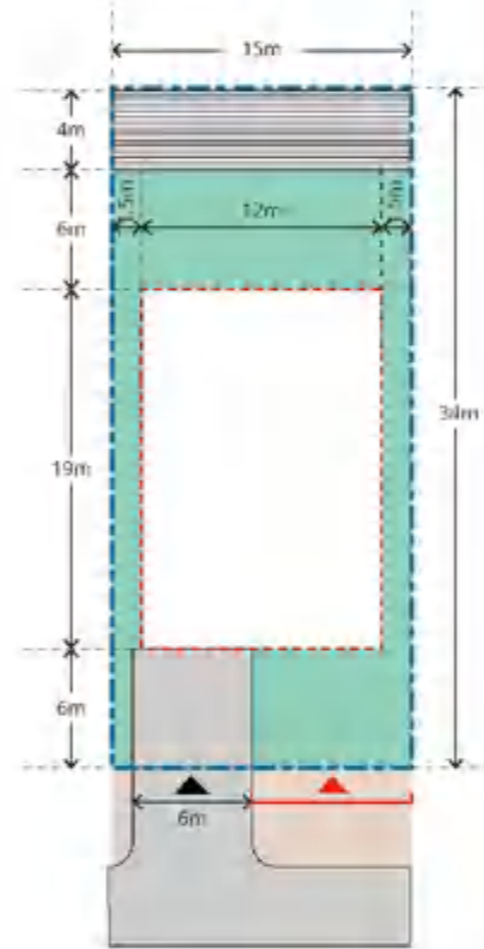


Premium Plot	Typical*
Land Use	Residential-Villa
Plot Area	900
Number of Floors	2
Max. Allowable GFA	720
FAR	0.80
Bedrooms	5
Resident Parking Space (on-plot)	4

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

Select Plus Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- Maximum Height: 8.5m
- Setbacks are given as follows:
 - Front Setback: 6m
 - Side Setbacks: 1.5m
 - Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- Rear fences to abide by fence guidelines.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements



Key

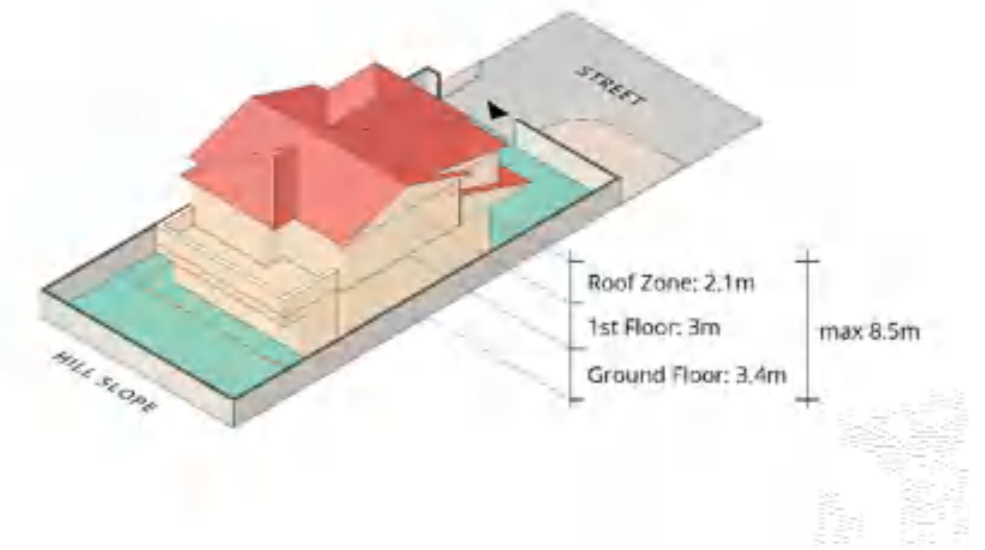
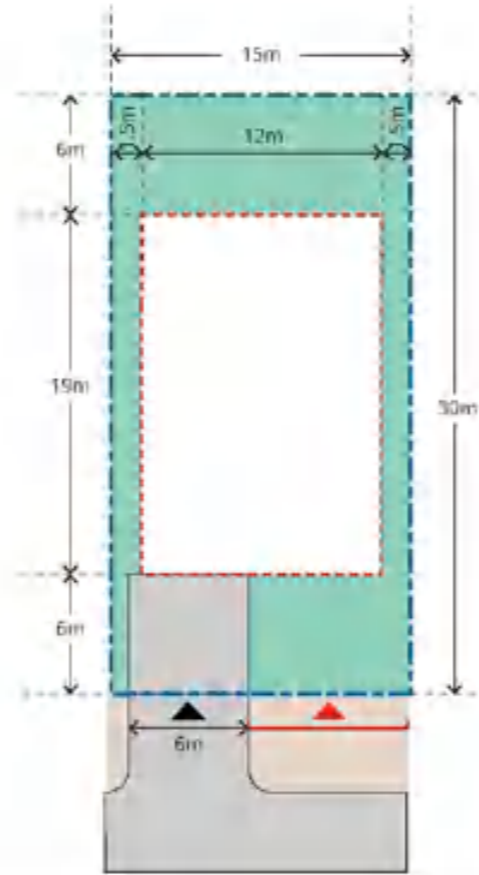
- Plot Boundary
- Buildable Zone for dwelling
- Buffer Area
- Vehicular Lane
- Sidewalk
- Building Entry
- Vehicular Entry

Select Plus Plot	Typical*
Land Use	Residential-Villa
Plot Area	510
Number of Floors	2
Max. Allowable GFA	357
FAR	0.7
Bedrooms	4
Resident Parking Space (on-plot)	3

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

Select Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specific.
- Maximum Height: 8.5m
- Setbacks are given as follows:
 - » Front Setback: 6m
 - » Side Setbacks: 1.5m
 - » Rear Setback: 6m
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- Rear fences to abide by fence guidelines.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements



- Key**
- Plot Boundary
 - - - Buildable Zone for dwelling
 - ▨ Buffer Area
 - ▨ Vehicular Lane
 - ▨ Sidewalk
 - ▲ Building Entry
 - ▲ Vehicular Entry



Select Plot	Typical*
Land Use	Residential-Villa
Plot Area	450
Number of Floors	2
Max. Allowable GFA	315
FAR	0.70
Bedrooms	4
Resident Parking Space (on-plot)	3

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

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Sahl Villa Community



CONTENTS

Site Location & Key Statistics

Perspective Views

Plot Regulation Sheets

Hudayriyat Central



Site Area - 850 ha



Total GFA - 3,227,000 m²



Population - 45,000



Amenities

- Public Beach
- Public Parks
- Sports Centre
- Marina
- Retail District
- Community Facilities

Sahl Neighbourhood



Site Area - 86 ha



GFA - 690,000 m²

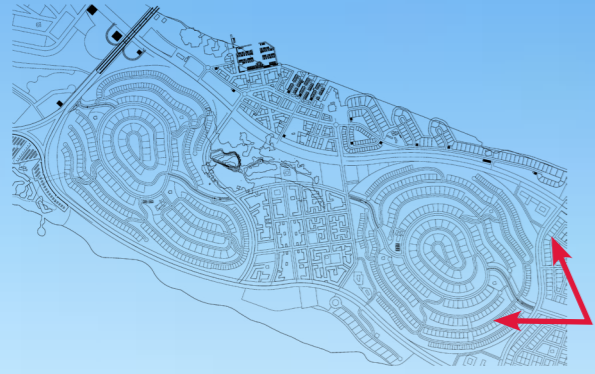


Population - 6,000



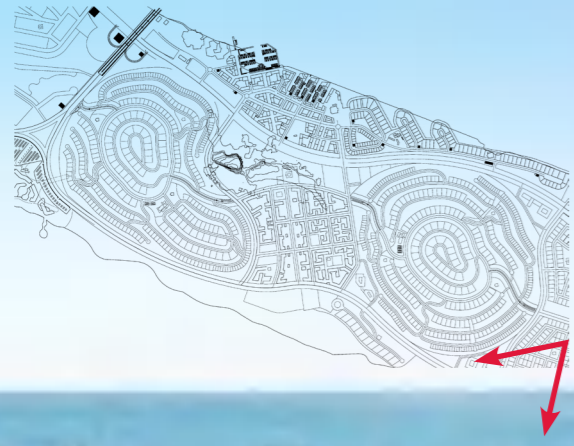
656 Villas - 930m² Plot
331 Villas - 750m² Plot





Hudayriyat Hills

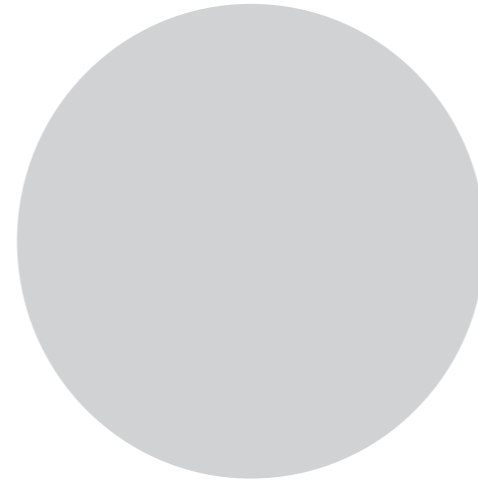




Hudayriyat Hills



MÜDÖN



Plot Regulation Sheets



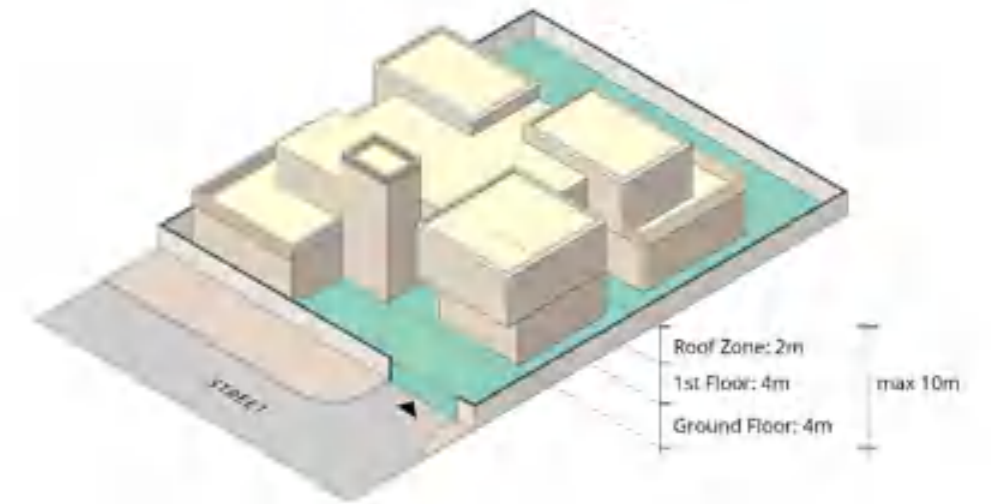
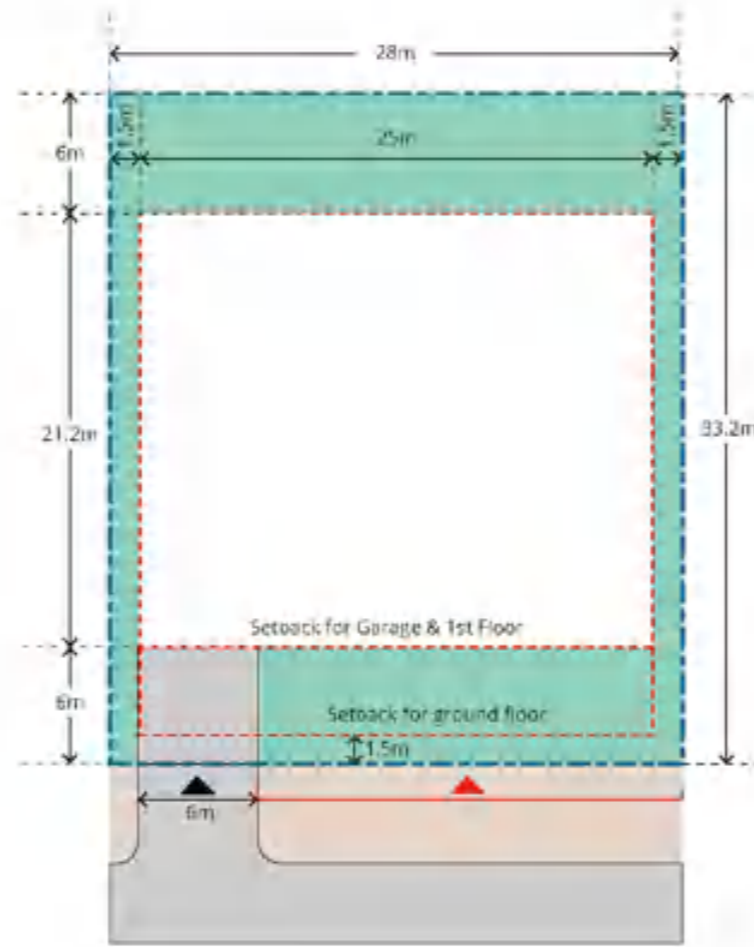
CONTENTS

930 Sqm Plot

750 Sqm Plot

Sahl Villa (Large) - (Typical Plot)

- Refer to Sahl Villa Typology Guidelines for design details and specifics.
- Maximum Height: 10m
- Setbacks are given as follows:
 - » Front Setback: 1.5m for ground floor; 6m for garage and 1st floor.
 - » Side Setbacks: 1.5m
 - » Rear Setback: 6m
- Garage shall be above-grade and abide by the 6m front setback restriction.
- All fences to abide by fence guidelines.
- Basements are not permitted.
- Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements.



Key

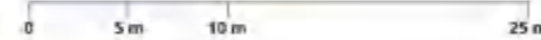
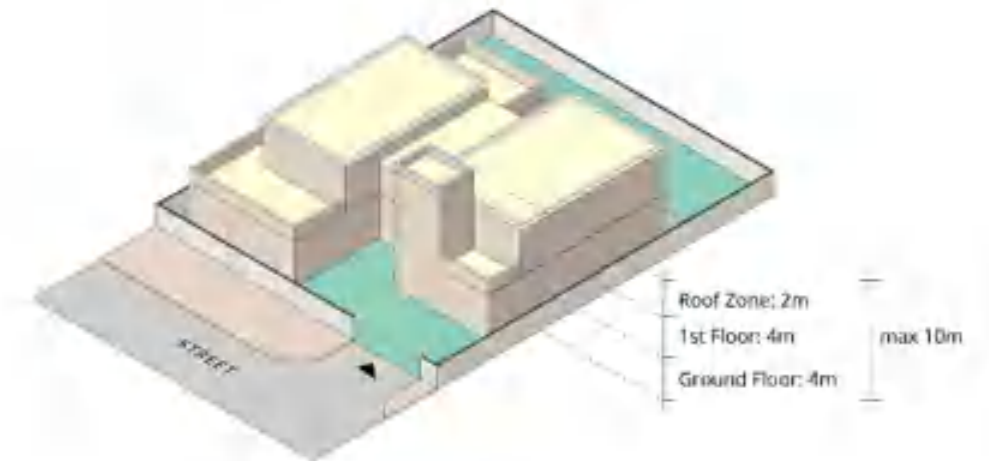
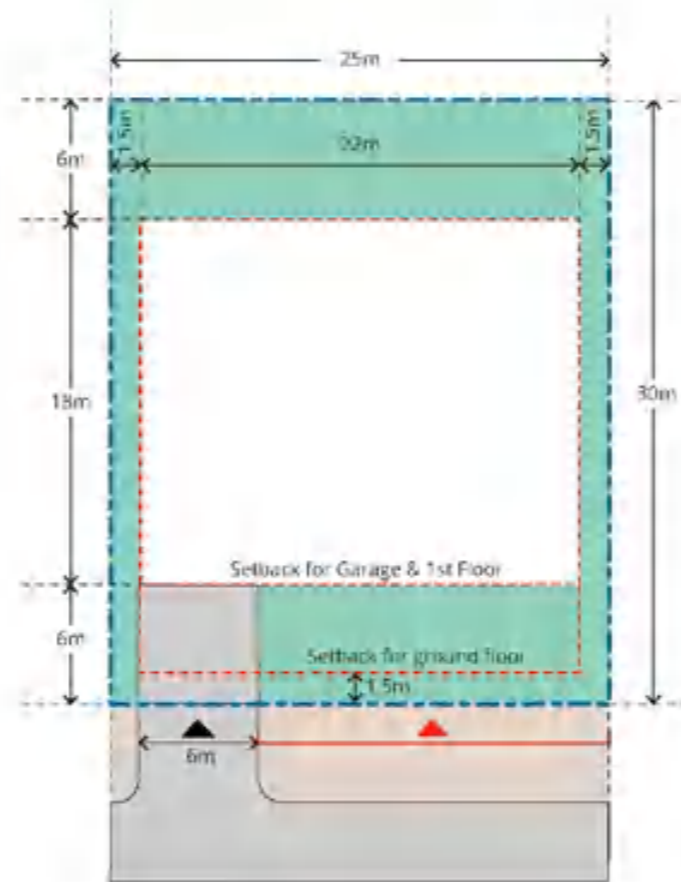
- Plot Boundary
- - - - Buildable Zone for dwelling
- ▬ Vehicular Lane
- ▬ Sidewalk
- ▲ Building Entry
- ▲ Vehicular Entry

Sahl-Villa (Large) Plot	Typical*
Land Use	Residential-Villa
Plot Area	929
Number of Floors	2
Max. Allowable GFA	743
FAR	0.8
Bedrooms	6
Resident Parking Space (on-plot)	5

* numbers shown are for a typical 'nominal' plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

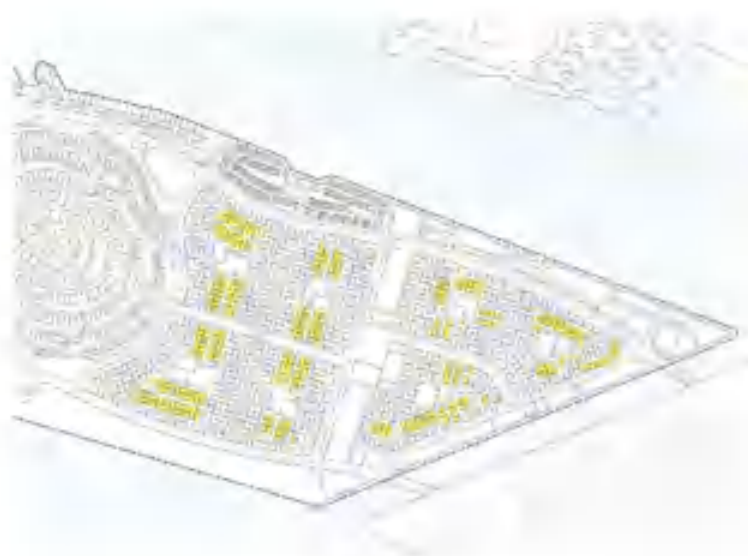
Sahl Villa (Small) - (Typical Plot)

- Refer to Sahl Villa Typology Guidelines for design details and specifics.
- Maximum Height: 10m
- Setbacks are given as follows:
 - » Front Setback: 1.5m for ground floor; 6m for garage and 1st floor.
 - » Side Setbacks: 1.5m
 - » Rear Setback: 6m
- Garage shall be above-grade and abide by the 6m front setback restriction.
- All fences to abide by fence guidelines.
- Basements are not permitted.
- Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements.



Key

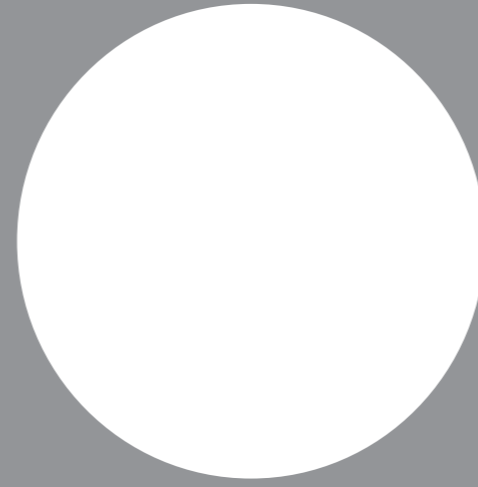
- Plot Boundary
- Buildable Zone for dwelling
- Vehicular Lane
- Sidewalk
- ▲ Building Entry
- ▲ Vehicular Entry



Sahl-Villa (Small) Plot	Typical
Land Use	Residential-Villa
Plot Area	750
Number of Floors	2
Max. Allowable GFA	600
FAR	0.80
Bedrooms	5
Resident Parking Space (on-plot)	4

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR

MÜDÖN



Quays Villas



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Site Location & Study

Perspective Views

Design Guidelines

Plot Regulation Sheets



Site Area 28.8 ha



Quays Villas 134

Mansion 12

2,000 sqm (50m x 40m)

Premium High 35

1,400 sqm (50m x 28m)

Premium 900 sqm (36m x 25m) 27

Select 450 sqm (30m x 15m) 60



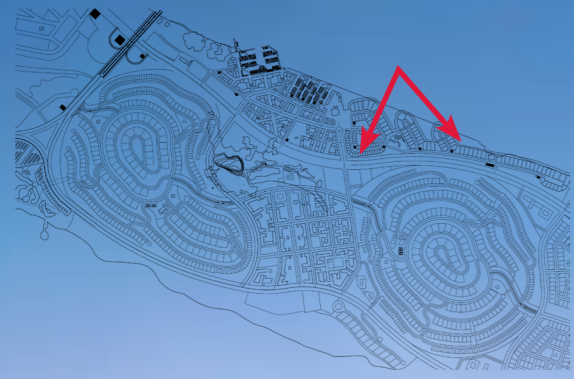
Amenities

Community Centre 1



Open Space 5.3 ha





Hudayriyat Quays



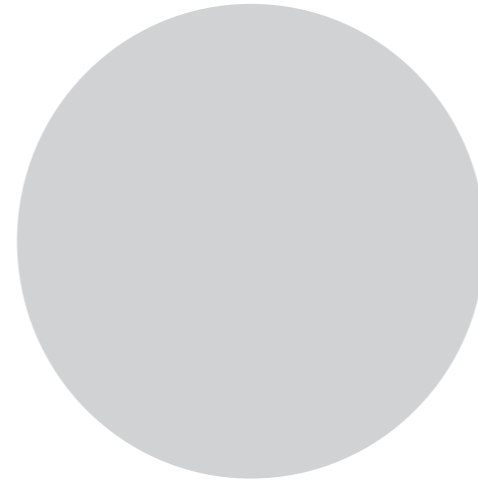



**Hudayriyat
Quays**



Hudayriyat Quays

MÜDÖN



Design Guidelines



The Quays

One of Hudayriyat Island's three distinctive character areas, the Quays line the northern shore as a collection of lively village neighbourhoods seen on approach from Abu Dhabi's Island on crossing the landmark Hudayriyat Bridge. The Quays will comprise a collection of unique neighbourhoods, connected by verdant walkable parks and streetscape, as a high quality setting for Hudayriyat's emerging architectural themes. The rich mix of land uses and well-managed amenities support a relaxed island lifestyle. Here, one can find waterfront villas and wharf-like canal-side town houses with private moorings, villa clusters and apartments nestled in a luxuriant landscape of family-friendly parks and amenities.

Hudayriyat's new Marina makes the Quays an island-wide destination with its lively promenade overlooked by waterfront cafes and eateries, yacht club and boutique hotel. The promenade connects with a dramatic linear park which extends outward across the island, leading residents of the Quays onto the Zeugen district park at the heart of the development and Newbury Street beyond. The waterfront promenade extends west to Hudayriyat Market – a cultural gastronomy and gourmet destination, located adjacent to an active sports area under Hudayriyat Bridge.

The Quays Character Areas



- 1 Marina District
- 2 Town Houses at the Quays
- 3 Parkside Apartments
- 4 Canalside Villas



Canalside Villas

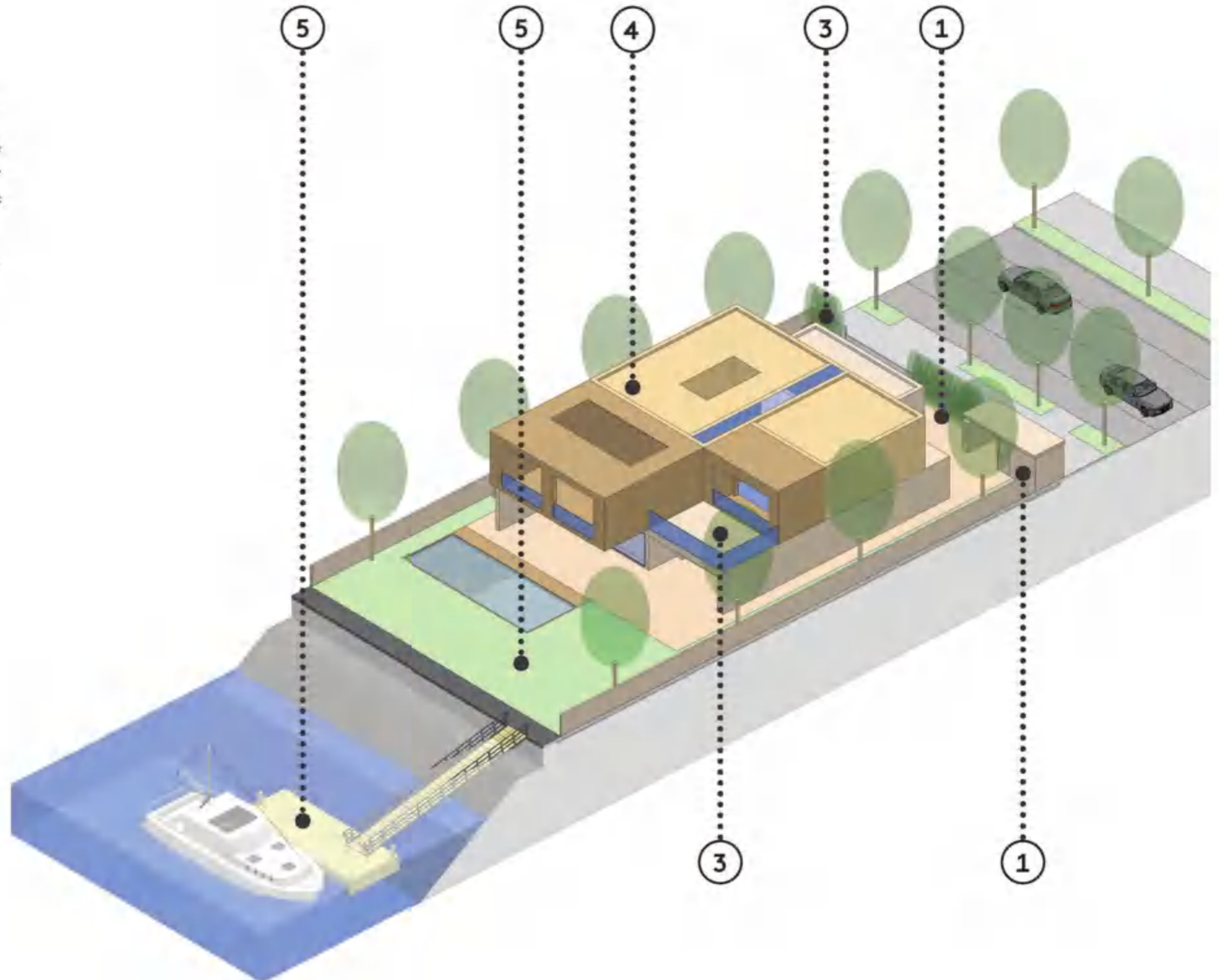
Sculpted headlands create the opportunity for mansion and large villa plots with private direct water access. Walking distance to the bustling Marina, and a few minutes from the Zeugen park, this is the only water's edge villa community within the Quays. Waterside Villas offer views across Hudayriyat Bridge and towards Abu Dhabi. Family friendly pocket parks and attractive landscape, make the villa quarter a tranquil residential neighborhood with a range of urban attractions available within a short walking distance.

Architectural Elements

The area comprises four separate enclaves with clusters of large luxury villas in groups of quiet, managed plots, most of which have access to water and views of the city. Other inland plots are adjacent to a local network of recreational, family friendly parks.

The villas in this quarter will adopt a contemporary industrial chic with clean rectilinear lines, cool colours and understated luxury, recalling a "neo-bauhaus" aesthetic.

- ① Entrance & Boundary Treatments
- ② Gardens & Courtyards
- ③ Terraces & Balconies
- ④ Architectural Character Elements
- ⑤ Back Gardens & Moorings





Gardens & Courtyards

The front gardens of the villas are designed and constructed to each owners requirements, as part of the clusters' overall landscape framework using a palette of restrained materials and planting species. A high quality, low maintenance approach is taken with simple uplighting effects to create a sense of calm serenity by day and night.

The courtyards are an opportunity for the owner to apply an alternative style or character to the space at the core of the home as more of a personal statement, using art or features to create a special impression.



Entrances & Boundary Treatments

The villa's are set in a verdant, seamless landscape. Entrance drives and path ways are simple and understated and integrated within the landscape. Safe and secured environment allows for villas to have open front gardens, while boundary walls clearly demarcate plot boundaries, together with lush landscape delivering privacy for each home. Special measures are applied to conceal any surface parking with screening and mounds in the landscape, to present a calm, soft, luxuriant prospect.



Terraces & Balconies

The villas provide the island's best domestic views, and the terraces and balconies are oriented to offer the best vantage point. This provides the opportunity to modulate each villa's architectural form and to create an interesting and innovative relationship with the outdoors.



Architectural Character Elements

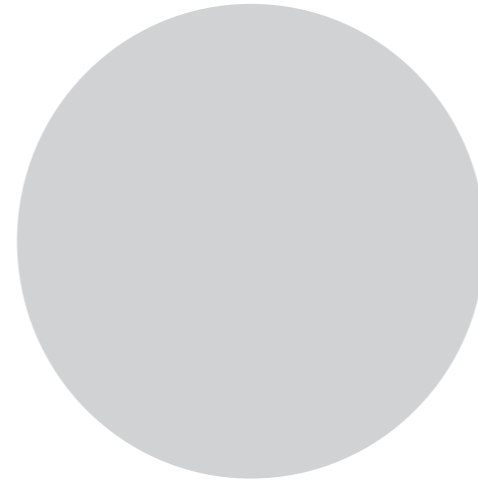
Contemporary villa forms will offer generous terraces, deep shadow casting overhangs and open feel. The villas will adopt a restrained and simple palette of materials and features to appear recessed in the parcel's landscape. Specific features for external shading, lighting and access will be common to emphasise the cohesive approach to each cluster.



Back Gardens and Moorings

The rear of each parcel will feature unique landscape treatments to suit the requirements of the owner. This includes the optional provision of a mooring facility to allow small to medium sized private vessels access to the many navigable routes associated with the region. This is a special amenity that defines The Quays.





Plot Regulation Sheets



CONTENTS

Mansion Plot

Premium High Plot

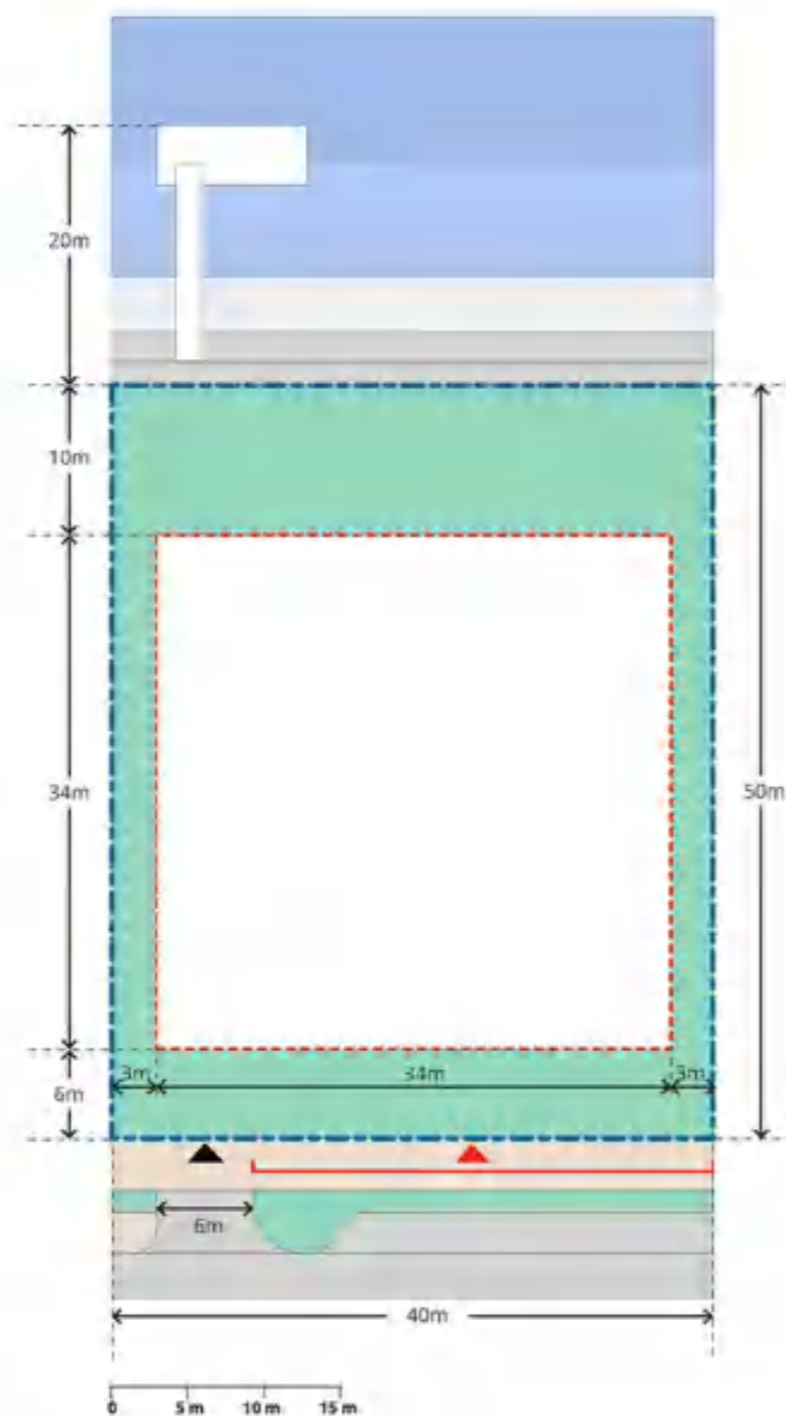
Premium Plot

Select Plot

D9.2.7.9 The Quays - Villas Plot Level Regulations & Guidelines

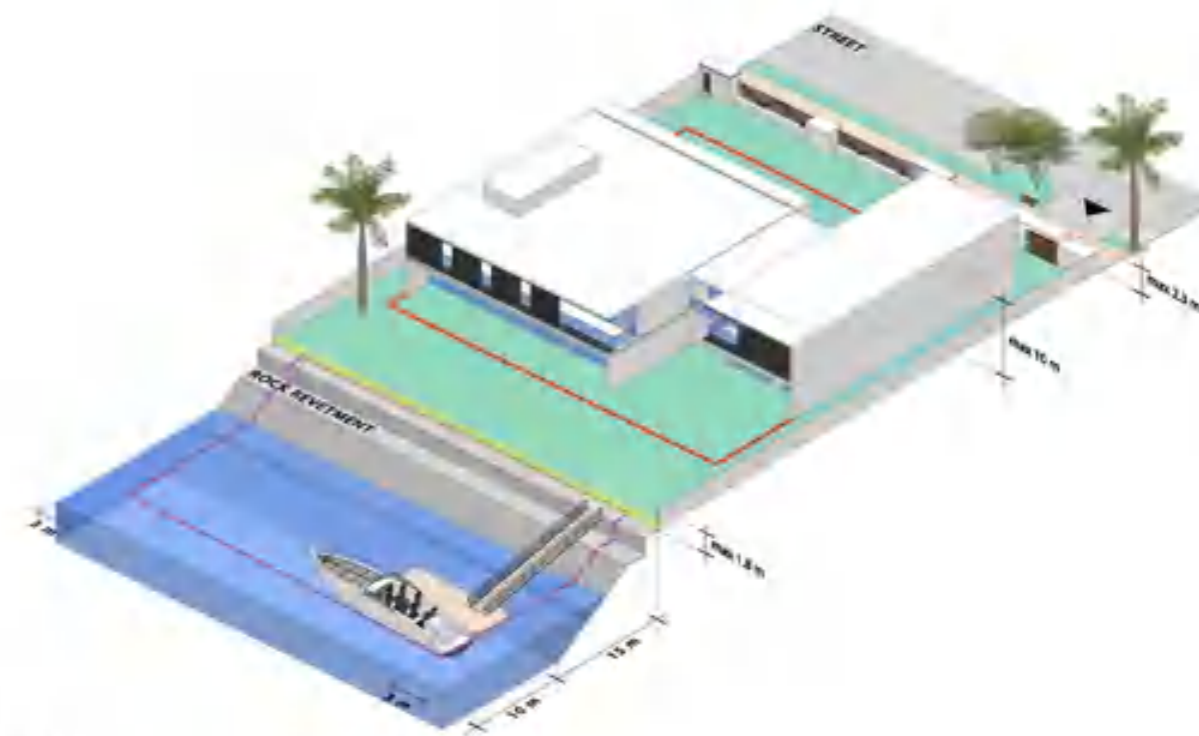
Mansion Villa (Typical Plot)

- Front and rear elevations should have vertical breaks for variation and shade. Planes to be offset a minimum of 0.5m. Long unbroken walls are discouraged.
- 2 storey massing must be balanced with single level porch and ancillary extensions to ensure ground level occupies the most GFA. The second floor can not be an extrusion of the ground floor. It shall be set back min 1m from ground floor edge and occupy max 50% of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- Upper floor roofs may incorporate varied eaves heights.
- Maximum roof plan width perpendicular to the ridge should not exceed 10m. Flat roof are encouraged.
- Porches are encouraged at first and second storeys to create shade and open up views between the plots.
- Where included, chimney flues to be between 1m to 2m above roof, unless otherwise required by local building code.



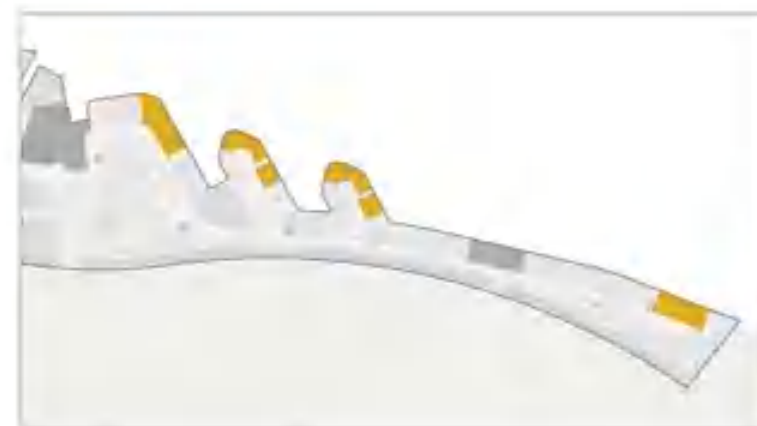
Key

- Plot Boundary
- Development Zone
- Road
- Pavement
- Landscape Strip
- Water
- Rock Revetment
- ▲ Building Address
- ▲ Vehicular Entry



Key

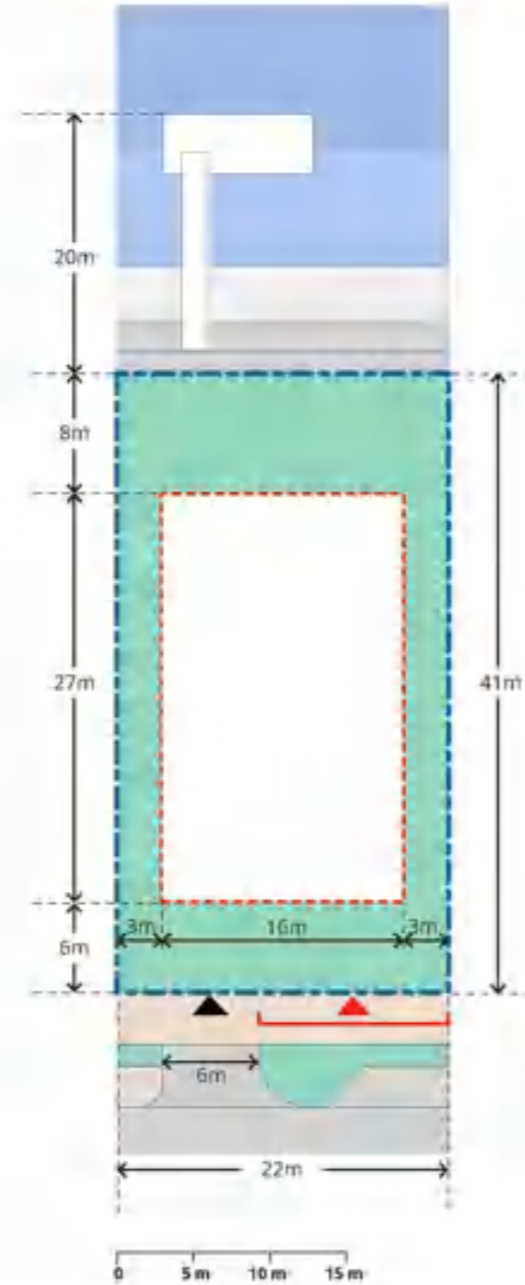
- Development Zone
- Permitted area to locate private mooring
- Security Buffer Area
- ▲ Vehicular Entrance
- Rock Revetment
- Water
- Road
- Pavement



Mansion Plot	Typical
Land Use	Residential-Villa
Plot Area (sqm)	2,000
Number of Floors	2
Max. Allowable GFA (sqm)	1,500
FAR	0.75
Bedrooms	8
Parking Space	7.2

Premium (Typical Plot)

- Front and rear elevations should have vertical plane breaks to create variation and cast shade. Planes should be offset a minimum of 0.5 m. Long uninterrupted walls at all elevations are discouraged.
- 2 storey massing should be balanced with single story porches and extensions so that the second floor does not dominate the form. The second floor is not permitted to be a full extrusion of the first floor and must have a 1m minimum setback from ground floor a minimum of 50 % of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- Porches are encouraged at first and second storeys to create shade and open up views between plots.
- Chimneys should range in height from 1m to 2m, measured from roof line, unless otherwise required by local building code.



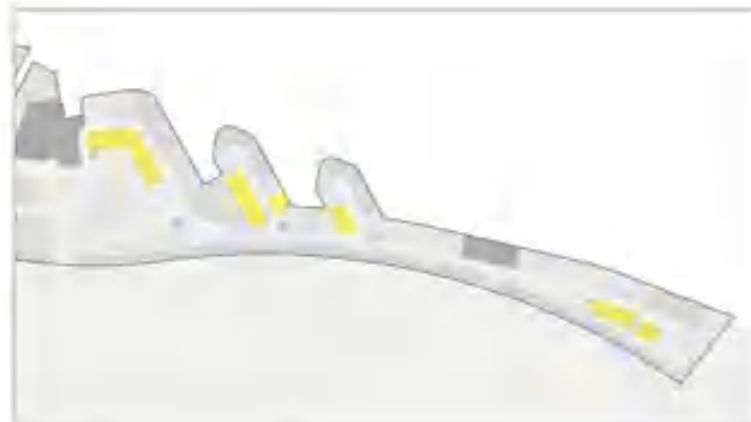
Key

- Plot Boundary
- - - Development Zone
- Road
- Pavement
- Landscape Strip
- Water
- Rock Revetment
- ▲ Building Address
- ▲ Vehicular Entry



Key

- - - Development Zone
- - - Permitted area to locate private mooring
- ▨ Security Buffer Area
- ▲ Vehicular Entrance
- Rock Revetment
- Water
- Road
- Pavement



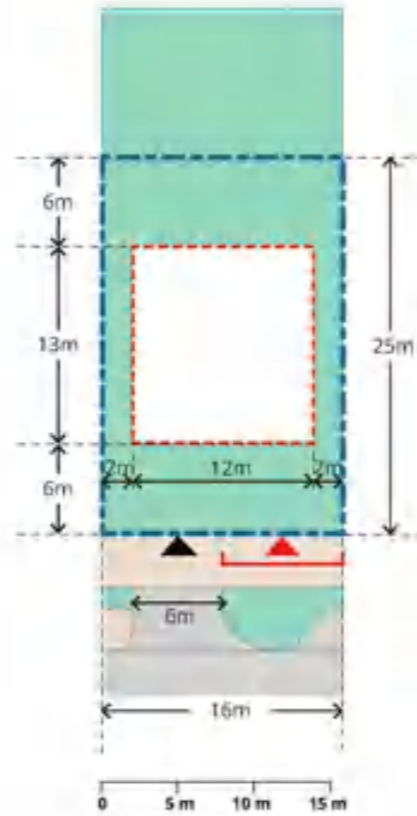
Premium Plot

Typical

Premium Plot	Typical
Land Use	Residential-Villa
Plot Area (sqm)	900
Number of Floors	2
Max. Allowable GFA (sqm)	720
FAR	0.80
Bedrooms	5
Parking Space	4.5

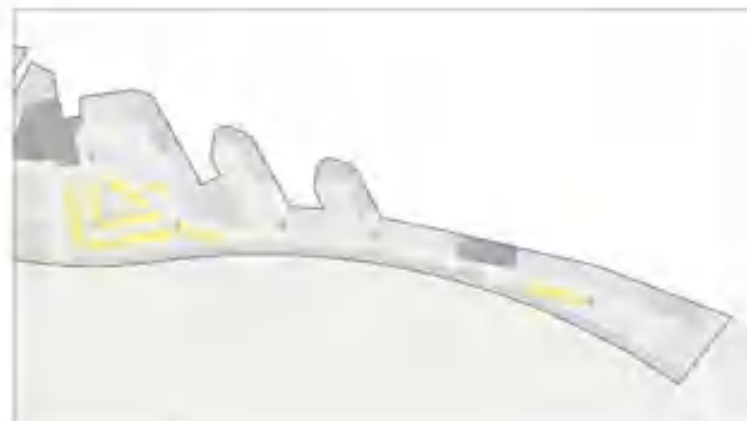
Select (Typical Plot)

- Front and rear elevations should have vertical plane breaks to create variation and cast shadows. Planes should be offset a minimum of 0,5 m. Long uninterrupted walls at all elevations are discouraged.
- 2 story massing should be balanced with single story porches and extensions so that the second floor does not dominate the form. The second floor is not permitted to be a full extrusion of the first floor and must have a 1m minimum setback from ground floor a minimum of 50 % of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- Porches are encouraged at first and second stories to create shadows and open up views through lots.
- Chimneys should range in height from 1m to 2m, measured from roof ridge, unless otherwise required by local building code.



Key

- Development Zone
- Permitted area to locate private mooring
- Security Buffer Area
- Vehicular Entrance
- Rock Revetment
- Water
- Road
- Pavement

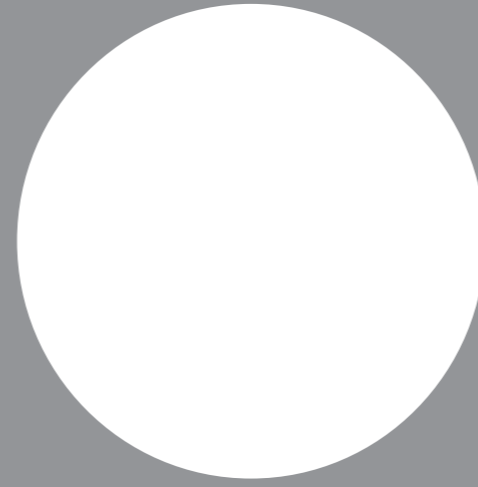


Key

- Plot Boundary
- Development Zone
- Road
- Pavement
- Landscape Strip
- Water
- Rock Revetment
- Building Address
- Vehicular Entry

Select Plot	Typical
Land Use	Residential-Villa
Plot Area (sqm)	400
Number of Floors	2
Max. Allowable GFA (sqm)	280
FAR	0.70
Bedrooms	4
Parking Space	3.4

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Sunset Cliff Villas



CONTENTS

Site Location & Study

Perspective View

Design Guidelines

Plot Regulation Sheet



Site Area

87.3 ha



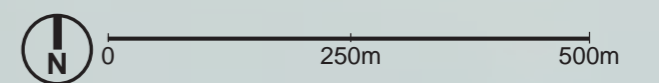
Sunset Cliff Villas

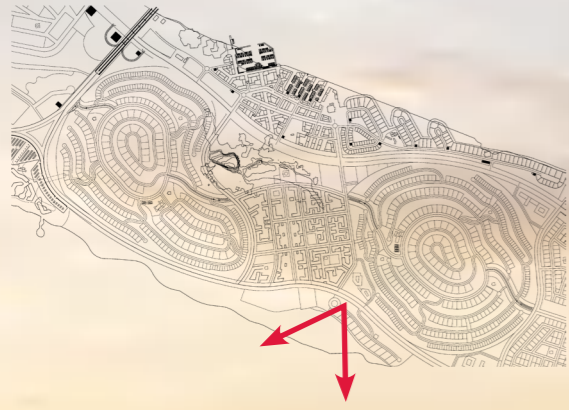
15

Mansion

15

1,800 sqm (60m x 30m)

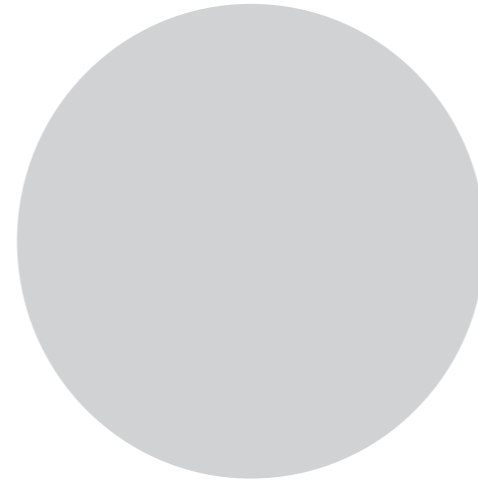




Hudayriyat Coast



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Design Guidelines



Sunset Cliffs

Cliff edge sub-district with prime sunset facing villas and access to a private beach. Separated from the eastern hill community by the 'coast drive'. This is the only villa community within the Coast district.



Architectural Elements

Relaxed resort aesthetic with warm colour accents.
Strong horizontal emphasis with plenty of terraced areas to maximise views.

- ① Entry Door & Porches
- ② Windows
- ③ Terrace
- ④ Walls
- ⑤ Roof and Mechanical Area
- ⑥ Fence
- ⑦ Front Yard
- ⑧ Back Yard
- ⑨ Side Yard



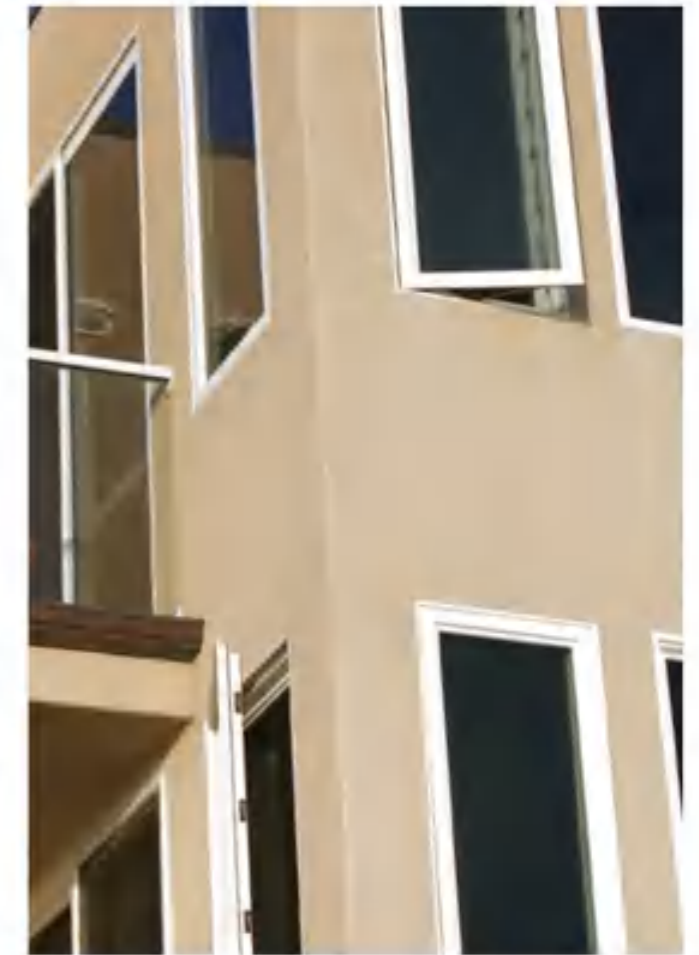


Entry Door & Porches

The entrance to the Sunset Cliff Villas is defined by the horizontal line of a porch, with warm timber accents at walls and ceilings. An oversized entry door made from glass or solid wood, recessed lighting and large format stone terracing create a modern aesthetic.

Windows

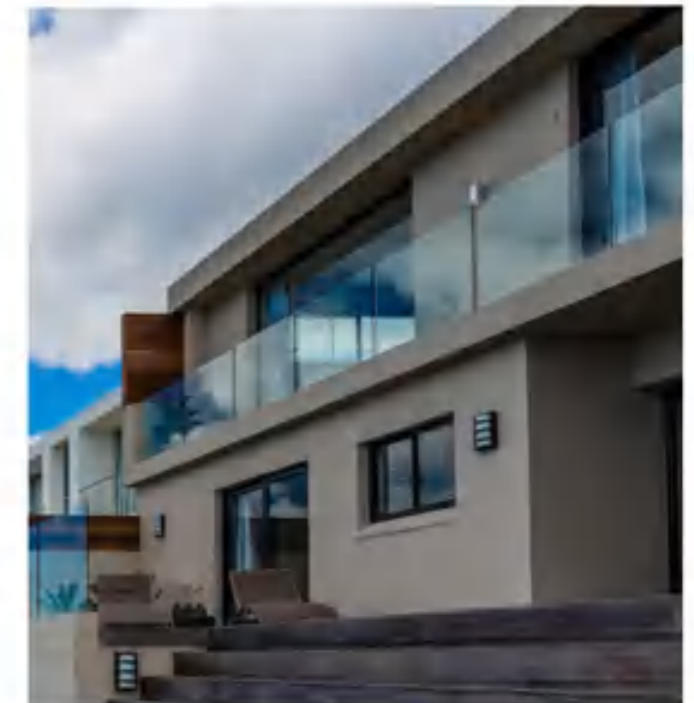
Windows have modern detailing set into undorned openings of stucco or stone, with rich wood or black iron frames. Larger expanses of glass at the rear of the villa captures panoramic sunset views, while smaller openings are utilized at front and side facades to maximize privacy.





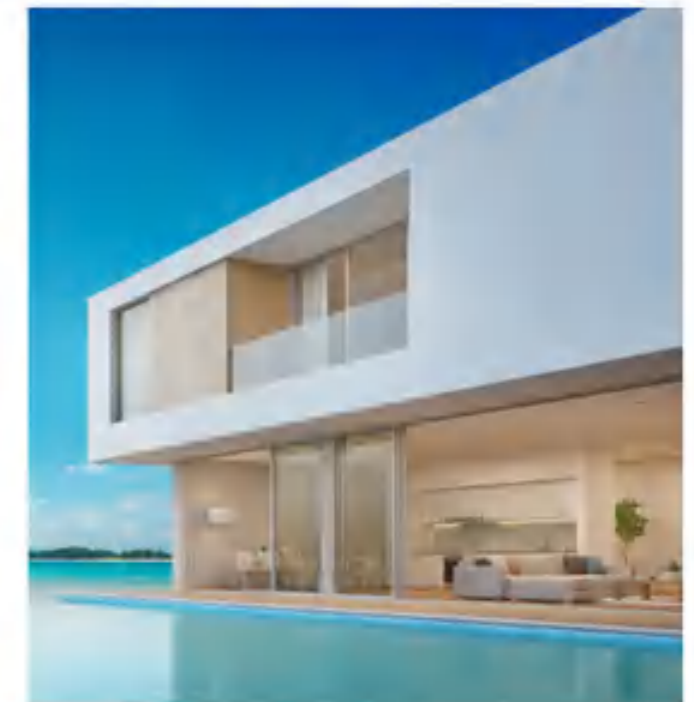
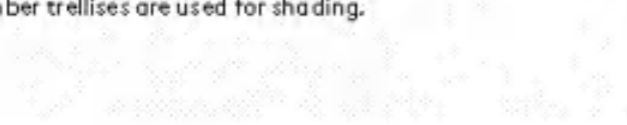
Walls

Walls are finished with crisp stucco or stone in white and neutral tones, accented with natural timber elements.



Terrace

The multiple terraces of the Sunset Cliff Villas create a horizontal emphasis that complements the seaside terrain, while optimizing views of Hudayriyat Island. Glass railings preserve the views and enhance the clean coastal aesthetic. Deep roof overhangs and timber trellises are used for shading.





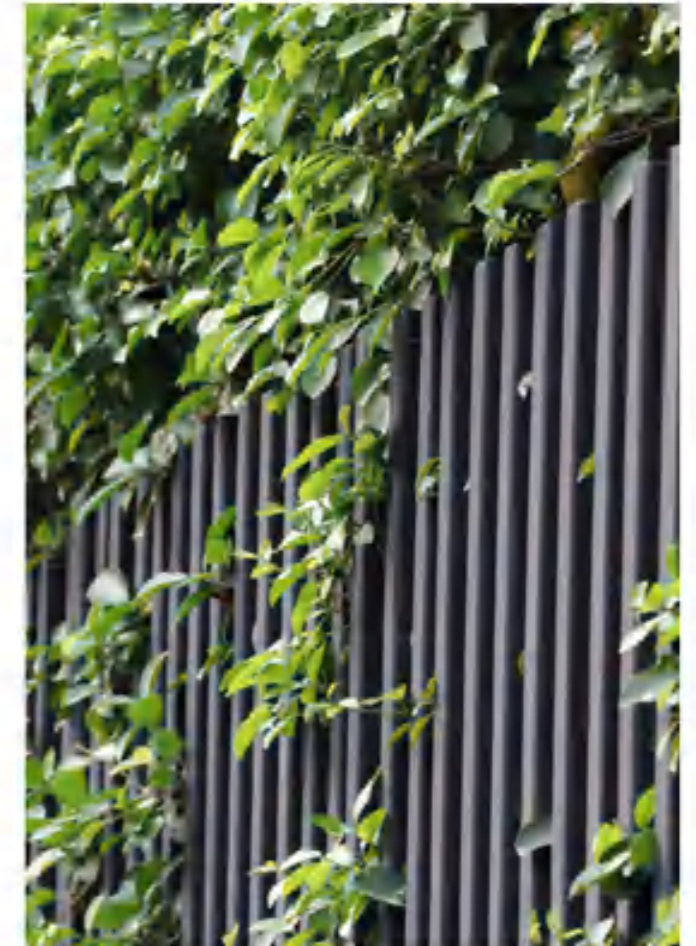
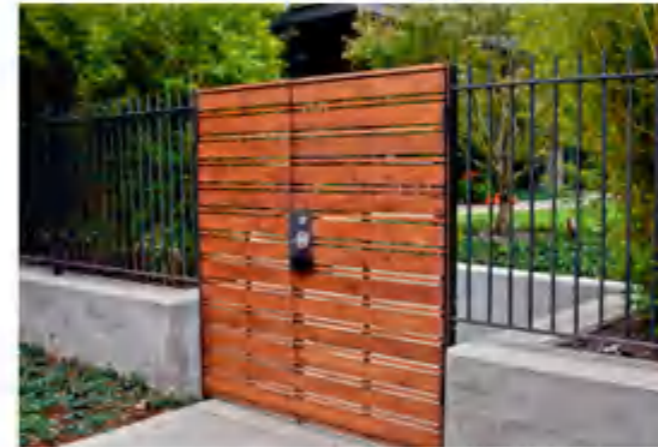
Roof and Mechanical Area

The flat roofs of the Sunset Cliff Villas are ideal for harnessing energy using photovoltaic panels.

To enhance the outdoor environment, mechanical areas for outdoor equipment should be masked behind roof parapets.

Fence

Modern black iron fencing is integrated with planting to define the private realm of the frontyard.





Paving

The paving use light-colored materials in natural stone. Less expensive, engineered stones could be used as an alternative as long as they provide consistent earth tone.



Planting

The planting of the front yards predominantly features salt-tolerant, drought-resistant species that will appear vibrant, even if not irrigated.



Front Yard

The front yards of the Sunset Cliff villa plots give an overall identity to their neighbourhoods. Cladding, paving, and planting are unified to create a cohesive aesthetic to the community.

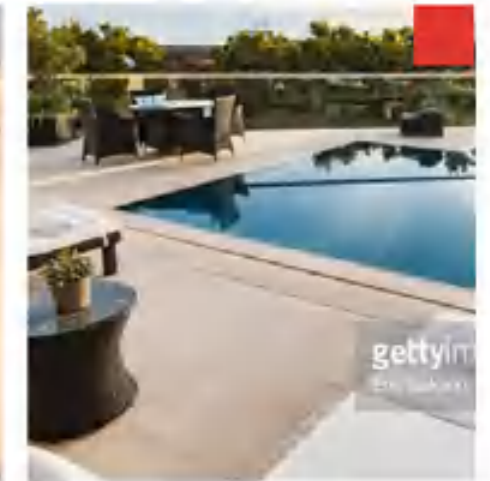


Back Yard

The back yards of the villa plots allow a resident to be creative and express their individuality within their neighborhoods. Several cladding, paving, and planting options can be combined in numerous ways to produce different seating areas, gardens, and pool side retreats.

Paving

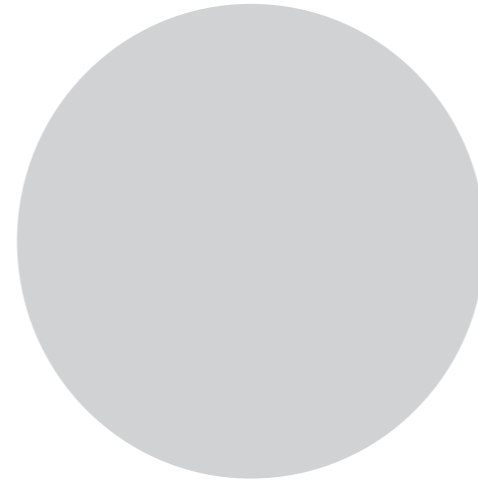
The paving use light-colored materials in natural stone. Less expensive, engineered stones could be used as an alternative as long as they provide consistent earth tone.



Planting

The planting of the back yards features salt-tolerant, drought-resistant species that will appear vibrant, even if not irrigated. Specimen species can be introduced and irrigated within the back yards as they require more maintenance. Tree species are still regulated as these become the 'face' of the hillsides and the overall identity of these neighborhoods.

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Plot Regulation Sheet

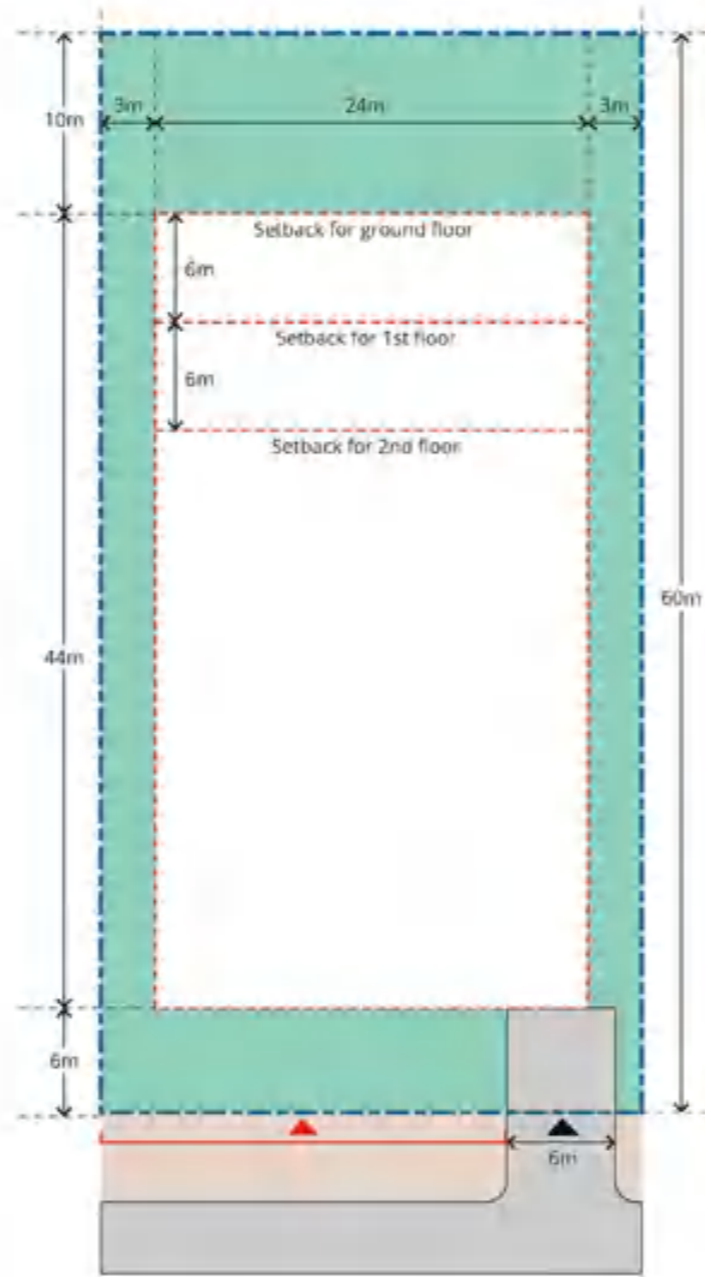


CONTENTS

Mansion Plot

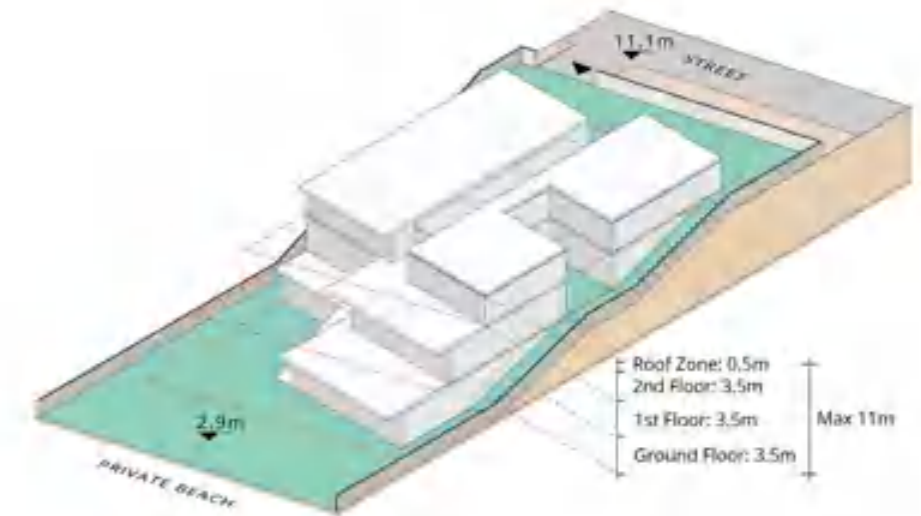
Cliffside Villa (Typical Plot)

- Refer to Cliffside Villa Typology Guidelines for design details and specific.
- Maximum Height: 11m
- Setbacks are given as follows:
 - » Front Setback: 6m
 - » Side Setbacks: 3m
 - » Rear Setback: 10m for ground floor, 16m for 1st floor and 22m for 2nd floor
- Swimming pools are allowed.
- All fences to abide by fence guidelines.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements.



Key

- - - - Plot Boundary
- - - - Buildable Zone for dwelling
- ▬ Vehicular Lane
- ▬ Sidewalk
- ▲ Building Entry
- ▲ Vehicular Entry



Cliffside Villa	Typical*
Land Use	Residential-Villa
Plot Area	1800
Number of Floors	3
Max. Allowable GFA	1500
FAR	0.83
Bedrooms	6
Resident Parking Space (on-plot)	5

* numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.



Area Schedule



Hudayriyat Residential SoA	Quays Villas				Sahl		Hudayriyat Hills					Hudayriyat Coast
Community	Quays Villas						East & West Hill					Cliff Villas
Neighbourhood	1. Contemporary				1. Southern Californian Modern		1. Southern Californian 2. Aegean 3. Contemporary					1. Southern Californian Modern 2. Contemporary
Architectural Character	Villas				Villas		Villas					Villa
Unit Type	4 Bedroom	5 Bedroom		6 Bedroom	5 Bedroom		4 Bedroom	5 Bedroom		6 Bedroom	7 Bedroom	6 Bedroom
Bedrooms	Select	Premium	Premium High	Mansion	Option A	Option B	Select	Premium	Premium High	Mansion	Mansion Plus	Mansion
Unit Reference	16	25	28	40	25	28	15	25	28	40	40	40
Plot Width (Minimum)	25	36	50	50	30	33.2	30	36	50	50	75	50
Plot Depth (Minimum)	400	900	1400	2000	750	929.6	450	900	1400	2000	3000	2000
Plot Area (Minimum)	280	720	1120	1500	600	743.68	315	720	1120	1500	2250	1500
Total GFA brief	282	720	1080	1460	600	721	316	720	1104	1460	2012	1456
Total GFA SoA	0.7	0.8	0.8	0.75	0.8	0.8	0.7	0.8	0.8	0.75	0.75	0.75
FAR	G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+2
Massing (Maximum)	*Note: Plot dimensions vary significantly across all plots											
Primary entrance	6	20	30	36	16	20	6	20	30	36	48	36
Second entrance		12	16	16	12	12		12	16	16	24	16
FOH Kitchen	10	16	20	24	12	16	12	16	20	24	42	24
BOH Kitchen	6	16	20	24	16	16	8	16	20	24	36	24
Dining Room	14	30	42	42	24	30	16	30	42	42	60	42
Living Room(s)	20	40	60	60	36	40	24	40	60	60	80	120
Family Powder Room(s)	6	8	12	24	8	8	6	8	12	24	30	24
Majlis/Formal Living Room		40	60	90	36	40		40	60	90	120	90
Majlis Powder Room		8	8	16	8	8		8	8	16	24	16
Majlis Pantry		12	12	16	12	12		12	12	16	24	16
Media Room			36	42				36	42	48	48	42
Study	12	16	20	24		16	12	16	20	24	42	24
Ground floor bedroom		20	30	36	20	20		20	30	36	42	36
En suite/shower room		8	12	12	8	8		8	12	12	16	12
Maid's room & bathroom	10	12	20	24	12	12	12	12	20	24	36	24
Laundry	4	8	12	18	8	8	6	8	12	18	24	18
Driver's room & bathroom		12	16	16	12	12		12	16	16	24	16
Garage (enclosed)	30	60	90	120	45	45	30	60	90	120	160	120
Total	118	338	516	640	285	323	132	338	516	640	880	700
Family Room		36	42	48	16	20		36	42	48	60	48
Gym				24					12	24	60	24
Playroom				16					12	16	42	16
Pantry		6	12	16	6	6		6	12	16	24	16
Master Bedroom	22	36	44	54	30	36	24	36	44	54	80	54
Bedroom 2	18	30	36	42	24	30	20	30	36	42	54	42
Bedroom 3	18	24	30	36	20	24	20	24	30	36	42	36
Bedroom 4	18	24	30	36	20	24	20	24	30	36	42	36
Bedroom 5		24	30	36	20	24		24	30	36	42	36
Bedroom 6			30	36		24			30	36	42	36
Bedroom 7				36		24				36	36	36
Bedroom 8										36	36	
Master Bathroom En Suite	10	12	18	24	12	12	12	12	18	24	24	24
Bath 2	8	8	12	16	8	8	8	8	12	16	16	16
Bath 3		8	8	12	8	8	8	8	8	12	12	12
Bath 4		8	8	12	8	8	8	8	8	12	12	12
Bath 5		8	8	12	8	8	8	8	8	12	12	12
Bath 6			8	12		8			8	12	12	12
Bath 7				12						12	12	
Bath 8												
Family Bathroom	8											
Master Bedroom walk-in closet	6	16	16	24	16	16	8	16	16	24	36	24
Bedroom 2 walk-in closet		12	12	16	12	12		12	12	16	16	16
Bedroom 3 walk-in closet			6	8					6	8	12	8
Bedroom 4 walk-in closet			6	8					6	8	12	8
Bedroom 5 walk-in closet			6	8					6	8	12	8
Bedroom 6 walk-in closet			6	8					6	8	12	8
Bedroom 7 walk-in closet			6	8					6	8	12	8
Total	108	252	374	560	208	268	128	252	398	560	772	496
Circulation	56	130	190	260	107	130	56	130	190	260	360	260
Circulation %	20%	18%	18%	18%	18%	18%	18%	18%	17%	18%	18%	18%

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Branding





الحديرييات
Hudayriyat



**Hudayriyat
Hills**



**Sahl Villa
Community**



**Quays
Villas**



**Sunset Cliff
Villas**



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Thank You

